

**BOROUGH OF LAKE COMO
1740 MAIN STREET
LAKE COMO, NJ 07719**

PLANNING BOARD AGENDA

**MAY 11, 2026
REGULAR MEETING**

**7:00 PM
LAKE COMO**

I. CALL TO ORDER

II. SUNSHINE LAW:

THE NOTICE REQUIREMENTS OF R.S. 10:4-18 OPEN PUBLIC MEETINGS ACT HAVE BEEN SATISFIED BY THE PUBLICATION OF THE REQUIRED ADVERTISEMENT IN THE COAST STAR ON JANUARY 15, 2026, AND BY POSTING IT ON THE BULLETIN BOARD IN BOROUGH HALL. A COPY OF THE SAID NOTICE HAS BEEN FILED WITH THE BOROUGH CLERK AND SENT TO THE COAST STAR. NOTICE OF THE MEETING WILL ALSO BE POSTED ON OUR WEBSITE. ALL MEETINGS ARE OPEN TO THE PUBLIC.

**** FLAG SALUTE ****

III. ROLL CALL

IV. CONTINUED d (6) VARIANCE APPLICATION:

**TONERO, JOHN & DEIRDRE
1817 PINE TERRACE
BLK - 15 LOT - 8**

V. MAJOR SUBDIVISION/SITE PLAN APPLICATION

**SKORA TEAM, LLC c/o NATALIA SKORA
762 - 22ND Av & 22ND AVE.
BLK - 36 LOT 25 & 26**

**VI. CONTINUED DISCUSSION ON AMENDING STORMWATER/DRAINAGE PLAN ORDINANCE
DISCUSSION ON AMENDING DRAINAGE PLAN ORDINANCE TO ADDRESS SUMP PUMP
AND STORMWATER DISCHARE FROM EXISTING HOMES**

VII. FUTURE MEETING DISCUSSIONS

PLANNING BOARD APPLICATION AND ESCROW FEES, STONES IN DRIVEWAYS, VERGE

VIII. MINUTES TO BE APPROVED

MINUTES TO BE APPROVED AS TYPEWRITTEN REVIEWED AND E-MAILED.

IX. MOTION TO ADJOURN

THE NEXT REGULAR MEETING OF THE LAKE COMO PLANNING BOARD WILL BE HELD ON MONDAY, JUNE 8, 2026 AT 7:00 PM IN THE MEETING ROOM. ALL MEETINGS ARE OPEN TO THE PUBLIC.

LEON S. AVAKIAN, INC. *Consulting Engineers*

788 WAYSIDE ROAD • NEPTUNE, NEW JERSEY 07753

LEON S. AVAKIAN, P.E., P.L.S. (1953-2004)
PETER R. AVAKIAN, P.E., P.L.S., P.P.
MEHRYAR SHAFAI, P.E., P.P.
GREGORY S. BLASH, P.E., P.P., CPWM.
GERALD J. FREDA, P.E., P.P.
JENNIFER C. BEAHM, P.P., AICP
CHRISTINE L. BELL, P.P., AICP
SAMUEL J. AVAKIAN, P.E., P.L.S., P.P.

March 19, 2026
Revised March 23, 2026

Viveca Graham
Board Secretary
1740 Main Street
P.O. Box 569
Lake Como, NJ 07719

**Re: Zoning Board Application
1817 Pine Terrace
Block 15, Lot 8
Our File LCPB 26-02**

Dear Ms. Graham:

The Applicant is requesting approval from the Zoning Board to demolish an existing one-story dwelling and construct a two-and-a-half-story single-family dwelling, along with a concrete patio, shed, covered porch, rear staircase, and associated site improvements. At this time, the application has been deemed complete. The proposed improvements require variance relief as stated below.

1. **Zoning and Land Use**

- A. The property is located in the Residential Zone (R-40) Single-Family Residential District and is known as 1817 Pine Terrace or Lot 8 in Block 15 on the municipal tax map.
- B. Please refer to the table below for area and yard requirements per the zone:

- C. The Applicant shall testify whether the attic space is intended to remain unfinished and inaccessible for habitable use, as the 502 square feet shown was not included in the floor area ratio calculation.
- D. The Architect should be prepared to discuss materials and colors for the improvements proposed to the home.

4. **Conditions of Approval**

- A. Payment of any outstanding real estate taxes
- B. Granting of any required construction permits
- C. Resolution compliant plans shall be submitted for engineering review prior to construction permitting.

Our office has received and reviewed an application for variance approval submitted in connection with the above-mentioned project. The following documents were submitted in support of the application:

- Borough of Lake Como zoning denial dated November 26, 2025.
- Borough of Lake Como Planning Board Application dated December 1, 2025.
- Architectural plans consisting of two (2) sheets, prepared by Matthew Evans, AIA, dated October 28, 2025, last revised November 17, 2025.
- Topographic Survey for 1817 Pine Terrace consisting of one (1) sheet, prepared by Marc Cifone, P.L.S., dated September 22, 2025, with no revision dates.
- Grading Plan for 1817 Pine Terrace consisting of one (1) sheet, prepared by Michael DeBlasio, P.E., dated November 17, 2025, last revised February 19, 2026

This report is based on the information submitted and is subject to revision upon receipt of additional information. Should the Board or its professionals have any questions, or require additional information or clarification regarding this application, please do not hesitate to contact our office.

Very truly yours,

LEON S. AVAKIAN, INC.



Samuel J. Avakian, P.E., P.P., P.L.S.
Borough Engineer



architects + engineers

4810 Belmar Boulevard, Ste 201
Wall Township, NJ 07753 | tel 732.414.2661

| ENGINEERING NJ #24GA28019100

February 18, 2026

Lake Como Planning Board
c/o Viveca Graham, Board Secretary
1740 Main Street
P.O. Box 569
Lake Como, NJ 07719

**Re: Completeness Review #2
Tonero Variance Application
1817 Pine Terrace
Block 15, Lot 8
H2M Project No. LKCP2510**

Dear Chairman and Board Members:

I am in receipt of a revised application package for the referenced project. The application package now includes a revised application form; **New Single Family Home Site & Grading Plan prepared by Michael DeBlasio, P.E., dated November 17, 2025; Topographic Survey of Property prepared by Marc Clifone, P.L.S., dated September 22, 2025; Architectural Plans (2 sheets) prepared by Matthew G. Evans, R.A., last dated December 18, 2025; Soil Boring Description prepared by William Merunka, P.E., P.P., dated January 2, 2026; and a denied Zoning Application.** Based on a review of the submitted documents, I find the application is incomplete at this time for lack of the following:

- The Applicant has provided a Site Plan and a recent survey. However, both of these documents do not scale appropriately and listed dimensions are not reproducible. A revised Site Plan and survey must be provided with an acceptable scale.

Please note the revised Planning Board application has modified the Applicant for this application. The initial application was submitted by Michael DeBlasio, where the revised application was submitted by John and Deirdre Tonero.

I trust this report is suitable for your purposes. I will await submission of these documents before proceeding further with my review. If you have any questions regarding this application, please contact me.



architects + engineers

4810 Belmar Boulevard, Ste 201
Wall Township, NJ 07753 | tel 732.414.2661

| ENGINEERING NJ #24GA28019100

December 15, 2025

Lake Como Planning Board
c/o Viveca Graham, Board Secretary
1740 Main Street
P.O. Box 569
Lake Como, NJ 07719

**Re: Completeness Review
DeBlasio Variance Application
1817 Pine Terrace
Block 15, Lot 8
H2M Project No. LKCP2510**

Dear Chairman and Board Members:

I am in receipt of an application package for the referenced project. The application package includes an application form; Site Plan prepared by Michael J. DeBlasio, P.E., dated November 17, 2025; Architectural Plans (2 sheets) prepared by Matthew G. Evans, R.A., last dated November 17, 2025; and a denied Zoning Application. Based on a review of the submitted documents, I find the application is incomplete at this time for lack of the following:

- There is no depiction of the existing conditions at the site as part of this application. A copy of a recent site survey is required and must be to a recognizable scale. Additionally, the Site Plan must be revised to depict the proposed improvements to the site. The submitted copy does not clearly identify the proposed improvements.
- The Architectural Plans do not depict the depth of the proposed dwelling's foundation on the elevation drawings. The Architectural Plans must be revised to show the depth of the foundation on the elevation drawings. Furthermore, the elevation drawings must depict the Seasonal High-Water Table (SHWT) as determined on-site and must achieve the 2 foot separation from SHWT to basement floor in accordance with Borough Ordinance 2024-1.
- The Applicant listed on the Application Form is the Owner's Engineer/Contractor. Based on previous experience and the Board Attorney's past position on such applications, this is not acceptable. The Owner (or the Owner's Attorney) should be listed as the Applicant on a reformulated application form.

Ck# 5080 \$ 70 Rec'd by 11/26/05 Date OR Permit # 22500086

** A NON-REFUNDABLE \$70.00 FEE MUST BE SUBMITTED WITH THIS APPLICATION**

Borough of Lake Como 5006

Zoning Application for Residential and Commercial Properties

ZONING

1. **Address of Property:** 1817 Pine Terrace

Block: 15 **Lot:** 8 **Zone:** R 40

2. **Property Designation:** Single Family Multi Family _____ Commercial _____

3. **Applicant's Name*:** Michael J DeBlasio, P.E.

Address: 307 9th Ave, Belmar, NJ 07719

Phone Number: 973-620-1885

***Applicant is:** Owner _____ Contractor Other
(If other, please describe) Contractor and Engineer

4. **Owner's Name:** John & Deirdre Tonero

Address: 708 Pitney Dr, Spring Lake Heights NJ

Phone Number: 973-900-3618

5. **Type of Proposal: (please check)**

<input checked="" type="checkbox"/> New Home	_____ Alteration to Existing Home: 1 - 1 1/2 Story _____ 2 - 2 1/2 Story <input checked="" type="checkbox"/>
_____ Pool: Above Ground _____ In-Ground _____	
<input checked="" type="checkbox"/> Shed <input checked="" type="checkbox"/> Fence _____ Deck _____	Other <input type="checkbox"/> *If other, please describe: _____
Water Line: Existing _____ New _____ Upgraded <input checked="" type="checkbox"/>	
Sewer Line: Existing _____ New _____ Upgraded <input checked="" type="checkbox"/>	

Dimension of New Building/Addition: 24 x 48.5 **Height of New Building/Addition:** 35
Area of New Building/Addition: 2290 sq. ft. **Number and Types of Rooms:** 4 Bedroom, 2.5 Bathroom

* If multiple additions are being applied for, itemize the additions and provide all pertinent information for each addition as requested above. * If addition is a pool, please indicate type and height of fencing.

Additional Information:

New Construction single family home on undersized 30'x100' lot. Attached garage for parking. Detached shed in back yard.



Borough Of Lake Como
 1740 Main Street
 Lake Como, NJ 07719
 (732)681-3232

DENIAL
Zoning Permit

Permit Number: Z2500086 Permit Issue Date: 11/26/25 Invoice #: 25-00484
 Application Id: 5006 Application Date: 11/26/25

Owner/Property Details

Block/Lot/Qual: 15. 8. Owner Name: WERNER, WILLIAM R & CATHERINE J Address: 5 HOPPING LANE FLORHAM PARK, NJ 07932	Phone #: Zoning District: Location: 1817 PINE TERRACE
Contractor: DEBO CONSTRUCTION, LLC Address: 307 9TH AVE Belmar, NJ 07719 Phone Number: License #: 13VH06299500	

This is to certify that the above description premised together with any building thereon, are used as or for:
NEW HOUSE W/ATTACHED GARAGE AND SHED

Conditions:

DENIED
 SITE PLAN PREPARED BY MICHAEL J DEBLASIO PE DATED 11/17/25 INDICATES A PROPOSED 35' HEIGHT VARIANCE REQUIRED WHERE 26.25' IS ALLOWED ON A 30'X 100' LOT IN THE R-40 ZONE. A PLANNING BOARD HEARING IS REQUIRED

Payments (Office Use Only)

NOTE: If construction does not commence within one (1) year of issuance or if construction ceases for a period of six (6) months, this permit is void.

Zoning Officer: *[Signature]* Date: *11/26/25*

Block 15 Land Desc 30X100
 Lot 8 Bidg Desc 1SF
 Qual Addl Lots
 Acct# Acctage 0.069 Class 2

Owners Name
 Street Address
 City & State
 Property Location 1817 PINE TERRACE

Bank
 Zip 07932
 Zone R-40

Land
 Impr 55,600
 Total 620,600

Exemption
 Code
 Value 0

Net Taxable Value
 Deductions
 Cd No-Ow

SITE INFORMATION **DESCRIPTION** **SKETCH**

Sewer: YES
 Water: YES
 Gas: YES
 Topography: LEVEL
 Road: PAVED

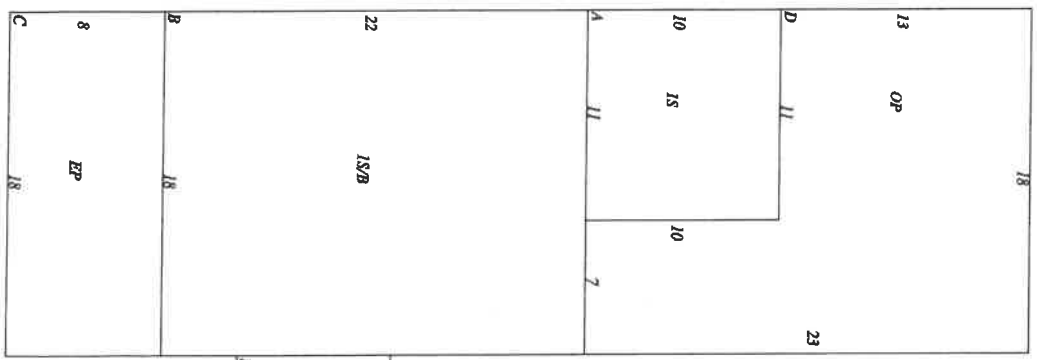
BUILDING INFORMATION
 Type and Use: ONE FAMILY
 Story Height: ONE STORY
 Style: RANCH
 Exterior Fin: WOOD SIDING

Roof Type: GABLE
 Roof Material: ASPHALT SHINGLE
 Foundation: CONC/CIND BLK
 Condition: FAIR
 Quality: 15
 Source: 15

Bath: Mod: Avg: Old:1
 Kitchen: Mod: Avg: Old:1
 Room Count: Tot: 4 Bed: 2 Bth: 1
 Year Built: 1921
 Eff Age (Years): 99
 Livable Area: 522

16 HEARING CHANGE
 BASEMENT 1
 FIRST STORY 396 SF
 FORCED HOT AIR 522 SF
 3 FIXTURE BATH 522 SF
 ENCLOSED PORCH 1
 OPEN PORCH 144 SF
 DETACHED GARAGE 304 SF
 OUTDOOR SHOWER 190 SF
 70 50 1 SF

SALE DATE 00/00/00
 SALE PRICE 0





Borough of Lake Como

1740 Main Street, P.O. Box 569 • Lake Como, New Jersey 07719-0569
(732) 681-3232 • FAX (732) 681-8981

PLANNING BOARD APPLICATION

FOR MUNICIPAL USE ONLY	
Application Number:	
Received By:	<u>NA #12-1-25</u>
Fees Collected:	<u>\$150⁰⁰ ECU</u>
Hearing Date:	
Resolution Adopted By Board:	
<input type="checkbox"/> Granted <input type="checkbox"/> Denied	

If something is not applicable to the application being submitted, please specify with N/A

1. Applicant(s) Name, Address & Telephone Number

John & Deirdre Tonero, 708 Pitney Dr, Spring Lake Hts, NJ

2. If the applicant is being represented by an attorney, please state name, address & telephone number

3. Applicant is:

Corporation Partnership Individual Other _____

NOTE: If application is a corporation or a partnership, please attach a list of the names and addresses of persons having a 10% interest or more in the corporation or partnership.

4. The relationship of applicant to the property in question is:

Owner Lessee

5. If applicant is not Owner, please state name, address and telephone number of the owner:

John & Deirdre Tonero, 708 Pitney Drive, Spring Lake Hts, NJ



Borough of Lake Como

1740 Main Street, P.O. Box 569 • Lake Como, New Jersey 07719-0569
(732) 681-3232 • FAX (732) 681-8981

GENERAL INFORMATION

- Me^etings:** As published pursuant to N.J.S.A. 40:55D-9 et and additional meetings scheduled as required.
- Time:** 7:00pm
Lake Como Borough Hall Meeting Room
1740 Main Street, Lake Como, NJ 07719
- Chair:** Joseph Cavaluzzi
- Att^y:** Adam Schneider, Esq.

PROCEDURES CHECKLIST:

Submit following with each application

1. One (1) original and three (3) copies of application form. Fill out application in its entirety. Answer all questions pertaining to your application. Update all tax information from Tax Collector/Assessor's office.
2. Appropriate fee-check made payable to the Borough of Lake Como in accordance with fee schedule.
3. Include fifteen (15) full size prints of site plan and/or subdivision map and/or survey and/or photographs as required. Survey should be signed, certified and dated within last ten (10) years.

****PLEASE FOLD PLANS, DO NOT ROLL****

Major Subdivision	<u>N/A</u>
Minor Subdivision (3 or less lots)	<u>N/A</u>
Preliminary Subdivision	<u>N/A</u>
Final Subdivision	<u>N/A</u>
Site Plan – Preliminary	<u>N/A</u>
Site Plan – Final	<u>X</u>
Hardship variance(s) – Single Family	<u>X</u>
Informal	<u>N/A</u>
Other	<u>N/A</u>

NOTE: When an application includes request for more than one action, the total accumulated for each action shall be collected. No application will be scheduled for hearing unless it is considered complete at least 21 days prior to the meeting date.

NOTE: When application represents requests for both preliminary and final approval simultaneously, both fees shall be collected.

William A. Merunka, P.E., P.P.
President

R.C Associates Consulting Inc
2517 Rte 35 Building J Suite 102 ,Manasquan NJ 08736

SOIL BORING DESCRIPTION

PROJECT Tonero Residence **PROJ. #** 2025.126
LOT 8 **BLOCK** 15
ADDRESS 1817 Pine Terrace
MUNICIPALITY Lake Como
PREPARED BY RCA **DATE** 1/2/2026
BORING NO. SB-1
BORING DESCR. SB-1 FRONT YARD, RIGHT SIDE OF WALKWAY

DEPTH (FT)	THICKNESS	DESCRIPTION
0" - 12"	12"	SM
12" - 20"	8"	SW
20" - 40"	20"	GW
40" - 50"	10"	SP
50" - 56"	6"	GW
56" - 120"	64"	SP
-		
-		
-		
-		
-		
-		
-		
-		
-		

SOIL CLASSIFICATIONS	
GW	Well-graded gravels, gravel-sand mixtures, little or no fines.
GP	Poorly graded gravels or gravel-sand mixtures, little or no fines.
GM	Silty gravels, gravel-sand mixtures.
GC	Clayey gravels, gravel-sand mixtures.
SW	Well-graded sands or gravelly sands, little or no fines.
SP	Poorly graded sands, or gravelly sands, little or no fines.
SM	Silty sands, sand-silt mixtures.
SC	Clayey sands, sand-clay mixtures.
ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity.
CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays.
OL	Organic silts and organic silty clays of low plasticity.
MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts
CH	Inorganic clays of high plasticity, fat clays.
OH	Organic clays of medium to high plasticity, organic silts.
PT	Peat and other highly organic soils.

SHWT 75"
WT 90"

William Merunka 1-2-26
 date



FREEHOLD SOIL CONSERVATION DISTRICT
(Serving Middlesex and Monmouth Counties)

4000 Kozloski Road, P.O. Box 5033
Freehold, New Jersey 07728-5033
Tel: (732) 683-8500
Fax: (732) 683-9140
E-mail: info@freeholdscd.org
Website: www.freeholdsoil.org

3/17/2026

JOHN & DEIRDRE TONERO
708 PITNEY DRIVE
SPRING LAKE HEIGHTS NJ 07760

Ref.#: 0012-F638
Proj.: 1817 PINE TERRACE DEMOLITION
Twp. : LAKE COMO
Block: 15
Lots : 8

PROJECT EXEMPTION

Dear JOHN & DEIRDRE TONERO,

This is to inform you that in accordance with the New Jersey Soil Erosion and Sediment Control Act; N.J.S.A. 4:24-39 et. seq., Chapter 251, P.L. 1975 and as amended by C. 264, P.L. 77 and C. 459, P.L. 79, anyone disturbing more than 5,000 square feet of the surface area of land for the accommodation of construction, must file an application along with Soil Erosion and Sediment Control plans to the local District office for review and certification.

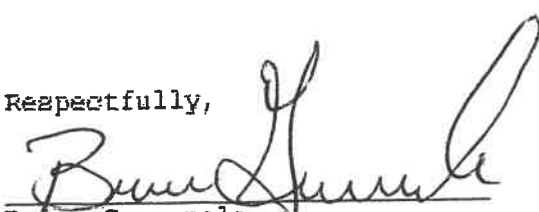
The above referenced project is exempt from the Act because of the enumerated reason below, and therefore does not require certification of a Soil Erosion and Sediment Control plan.

1. The single family residence demo/rebuild is exempt as the total soil disturbance for the lot is less than 5,000 square feet.

However, should the land disturbance exceed 5,000 square feet, submission and certification of a Soil Erosion and Sediment Control plan may be required.

If you should have any questions, please feel free to contact this office.

Respectfully,


Brian Governale
Resource Conservationist II

SW
cc: Planning Board
Construction Official
Municipal Engineer
Applicant's Engineer



Monmouth County Document Summary Sheet



MONMOUTH COUNTY CLERK
 PO BOX 1251
 MARKET YARD
 FREEHOLD NJ 07728

Return Name and Address
 Anchor Title Agency, LLC
 1955 Highway 34 Building 1, Suite B
 Wall, NJ
 07719



801YSY

Official Use Only

CHRISTINE GIORDANO HANLON
 COUNTY CLERK
 MONMOUTH COUNTY, NJ

INSTRUMENT NUMBER
2025089006
 RECORDED ON
Nov 06, 2025
2:16:37 PM
 BOOK: OR-9764
 PAGE: 5966
 Total Pages: 3

COUNTY RECORDING FEES \$70.00
 TOTAL PAID \$70.00

Submitting Company	Anchor Title Agency, LLC
Document Type	DEED AGREEMENT
Document Date (mm/dd/yyyy)	10/07/2025
No. of Pages of the Original Signed Document (Including the cover sheet)	3
Consideration Amount (If applicable)	
	NOV 05 2025 <i>MZ</i> OCT 29 2025 <i>M</i>

2/2
✓

Not Certified Copy

First Party <i>(Grantor or Mortgagor or Assignor)</i> <i>(Enter up to five names)</i>	Name(s) <i>(Last Name First Name Middle Initial Suffix)</i> <i>(or Company Name as written)</i>		Address (Optional)		
	McKelvey, Kristen				
Second Party <i>(Grantee or Mortgagee or Assignee)</i> <i>(Enter up to five names)</i>	Name(s) <i>(Last Name First Name Middle Initial Suffix)</i> <i>(or Company Name as written)</i>		Address (Optional)		
	Estate of William R. Werner				
Parcel Information <i>(Enter up to three entries)</i>	Municipality	Block	Lot	Qualifier	Property Address
	Lake Como	15	8		1817 Pine Ter
Reference Information <i>(Enter up to three entries)</i>	Book Type	Book	Beginning Page	Instrument No.	Recorded/File Date
	Deed	5104	0888		

3

***DO NOT REMOVE THIS PAGE.**

DOCUMENT SUMMARY SHEET (COVER SHEET) IS PART OF MONMOUTH COUNTY FILING RECORD. RETAIN THIS PAGE FOR FUTURE REFERENCE.

DISCHARGE OF AGREEMENT

This DISCHARGE OF AGREEMENT is made ~~September~~ ^{October 7}, 2025 between

Kristin McKelvey, of 1819 Pine Terrace, Lake Como, NJ 07719, owner of "Tract I", and

Estate of William R. Werner, By: Virginia Werner, Executor, of 5 Hopping Lane, Florham Park, NJ 07932, owner of "Tract II"

WHEREAS, a certain AGREEMENT dated October 31, 1991 was made by and between Constance Walkowicz and Linda Brahn, of 1819 Pine Terrace, Lake Como (formerly South Belmar) NJ as owners of Tract 1, and

William R. and Catherine T. Werner, his wife, of 5 Hopping Lane, Florham Park, NJ, as owners of 1817 Pine Terrace, Lake Como (formerly South Belmar), NJ as owners of Tract 2; and

WHEREAS the AGREEMENT established a driveway agreement for a common driveway between Tract I and Tract II, delineating the bounds of an easement and formalizing the rights and obligations of the parties hereto; and

WHEREAS, the AGREEMENT was recorded on November 15, 1991 in the Monmouth County Clerk's Office in Book 5104, Page 0888; and

WHEREAS, Linda Brahn departed this life on January 28, 2017, leaving Constance Walkowicz as surviving tenant, and

Catherine T. Werner departed this life on November 17, 2012, leaving William R. Werner as surviving tenant; and

Kristin McKelvey purchased Tract I from Constance Walkowicz by Deed dated November 16, 2017 and recorded on December 11, 2017 in the Monmouth County Clerk's Office in Book 926 Page 7216; and

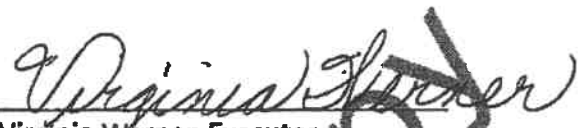
William R. Werner departed this life on September 15, 2024, his daughter, Virginia Werner, was appointed Executor of his Estate by the Morris County Surrogate on October 4, 2024 under Docket No. MRS-P-2397-2024, and

WHEREAS the parties hereto desire to discharge, cancel, end and forever terminate the aforementioned October 31, 1991 AGREEMENT;

NOW THEREFORE, in consideration of the mutual covenants contained herein and \$1.00 to each in hand paid by the other, the parties agree to discharge the October 31, 1991 AGREEMENT. This means the AGREEMENT is now void and of no effect. This DISCHARGE OF AGREEMENT shall be recorded with the Monmouth County Clerk's Office.

I sign and CERTIFY to this DISCHARGE OF AGREEMENT on ^{October} September 7, 2025.


Kristin McKelvey


Virginia Werner, Executor
Est. of William R. Werner

STATE OF NEW JERSEY, COUNTY OF MONMOUTH, ss:


On September 24, 2025 before me, the undersigned, a Notary Public in and for the State of New Jersey, personally appeared Kristin McKelvey, who personally came before me and acknowledged under oath to my satisfaction that she is named in and personally signed this Discharge of Agreement as her own act and deed, for the purposes set forth herein. WITNESS my hand and seal.


Notary Public
My Commission Expires

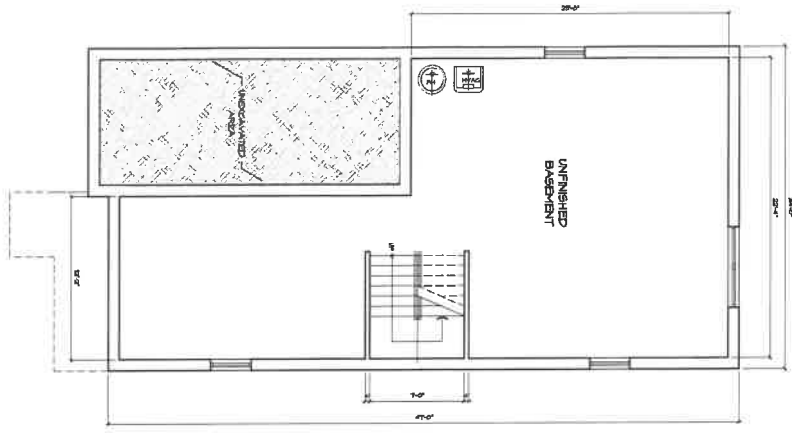
MICHAEL T. MILLS
Notary Public, State of New Jersey
Comm. # 50206930
My Commission Expires 02/13/2028

STATE OF NEW JERSEY, COUNTY OF ESSEX, ss:

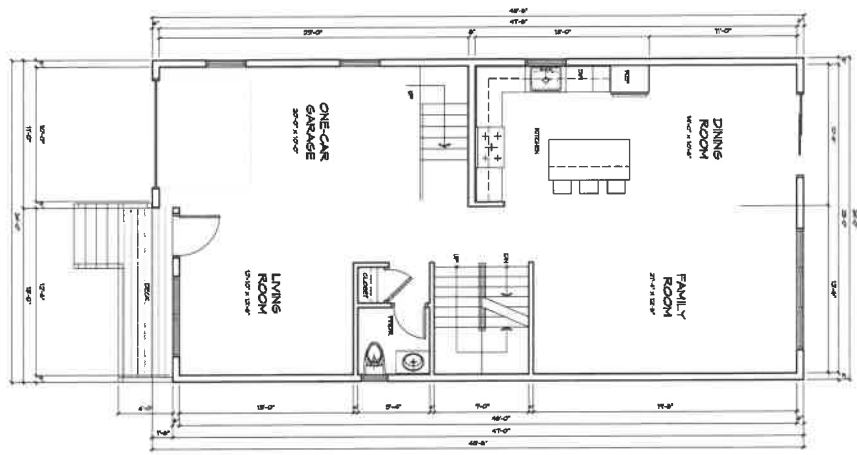
On ^{October} September 7, 2025 before me, the undersigned, a Notary Public in and for the State of New Jersey, personally appeared Virginia Werner, Executor of the Estate of William R. Werner, who personally came before me and acknowledged under oath to my satisfaction that she is named in and personally signed this Discharge of Agreement as her own act and deed, for the purposes set forth herein. WITNESS my hand and seal.


Notary Public
My Commission Expires

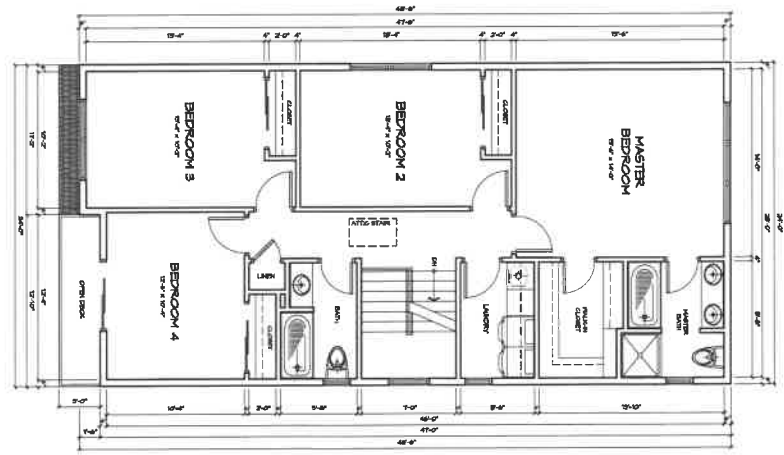
JACK P. BARON
AN ATTORNEY AT LAW OF THE
STATE OF NEW JERSEY



BASEMENT FLOOR PLAN
SCALE 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

LOCALITY: INTERNATIONAL RESIDENTIAL CODE 2021 I.L.C.	
DATE: 04/20/2024	1/2" = 1'-0"
CONSTRUCTION TYPE: V-0	3 BATHS
BUILDING AREA: 3,100 SQ. FT.	1,200 SQ. FT. GARAGE
NET FLOOR AREA: 1,200 SQ. FT.	200 SQ. FT. LAUNDRY
TOTAL: 3,100 SQ. FT.	200 SQ. FT. LAUNDRY
UNFINISHED BASEMENT: 200 SQ. FT.	
PLUMBING: 400 FT.	
ELECTRICAL: 1,200 FEET	

LEGEND

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 I.L.C.

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 I.L.C.

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 I.L.C.

6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 I.L.C.

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 I.L.C.

8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 I.L.C.

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 I.L.C.

10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2021 I.L.C.

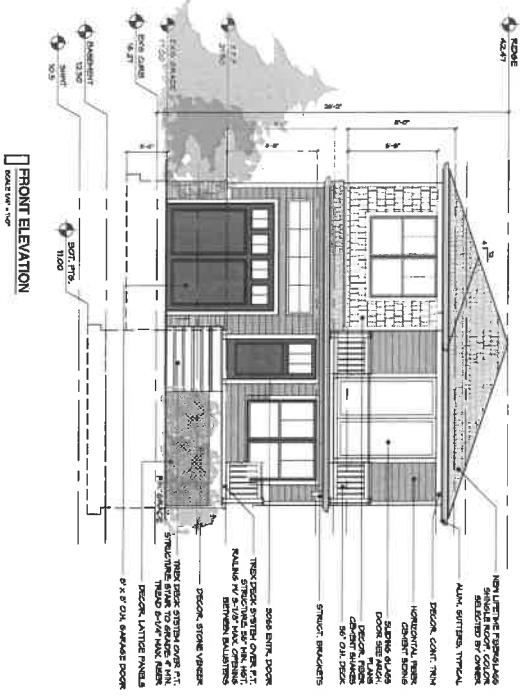
EVANS ARCHITECTS AIA
MATTHEW D. EVANS
 ARCHITECT-REGISTERED ARCHITECT
 1817 PINE TERRACE
 LAKE COMPOUND, NJ
 07033-1000
 TEL: 908.486.1111
 WWW.EVANSARCHITECTS.COM

PROPOSED FLOOR PLANS

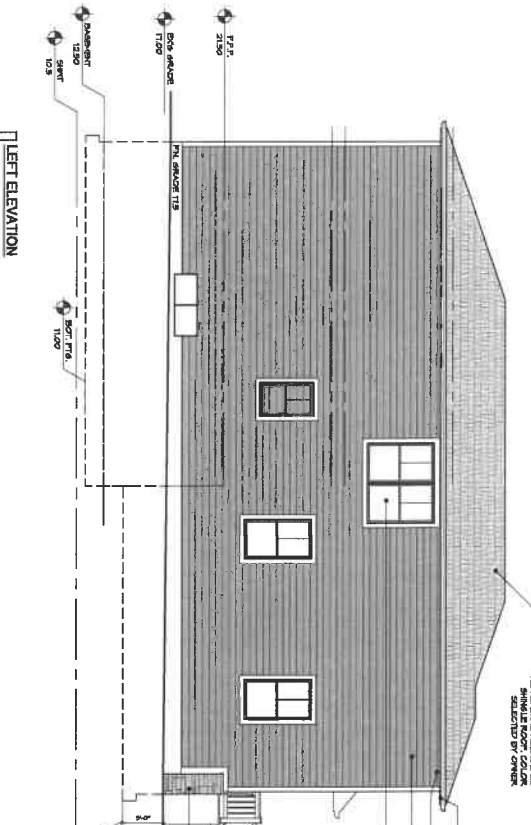
NEW RESIDENCE
 FOR
JOHN & DERRIENE TONERRO
 1817 PINE TERRACE
 LAKE COMPOUND, NJ

DATE: 04/20/2024
 SCALE: 1/8" = 1'-0"

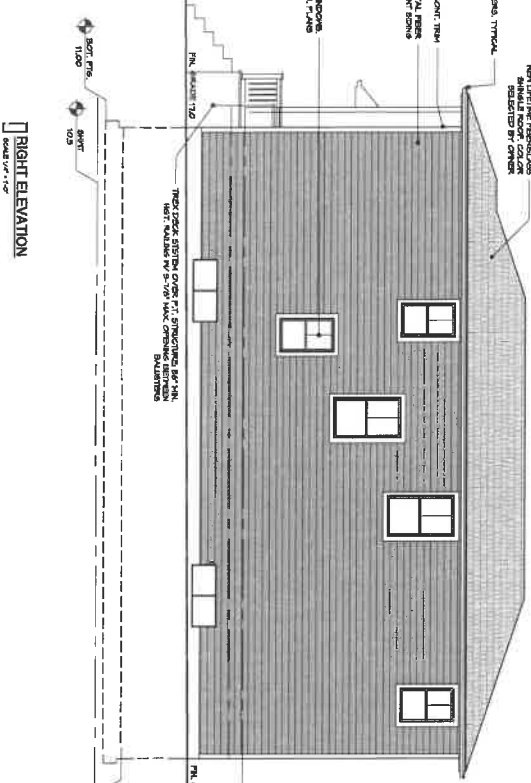
SK-1



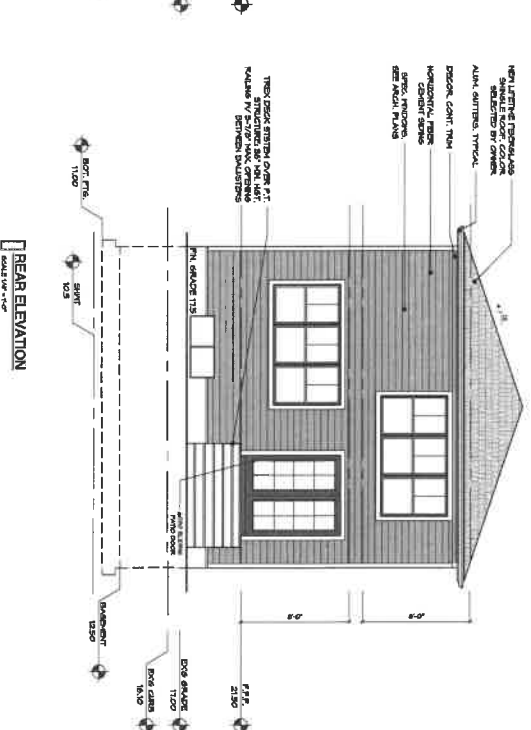
FRONT ELEVATION
SCALE 1/4" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"

EVANS ARCHITECTS AIA
MATTHEW & EVANS
 ARCHITECTS - PROFESSIONAL SERVICES
 1817 PINE TERRACE
 LAKE COHO, NJ 07033
 TEL: 908.882.1111 FAX: 908.882.1112
 WWW.EVANSARCHITECTS.COM

NEW RESIDENCE
 FOR
JOHN & DEIRDRE TONERRO
 1817 PINE TERRACE
 LAKE COHO, NJ

PROPOSED FLOOR PLANS
 ARCHITECT'S SERIES
 01/13/2010
 27.10.10.100

SK-2

LEON S. AVAKIAN, INC. *Consulting Engineers*

788 WAYSIDE ROAD • NEPTUNE, NEW JERSEY 07753

LEON S. AVAKIAN, P.E., P.L.S. (1953-2004)
PETER R. AVAKIAN, P.E., P.L.S., P.P.
MEHRYAR SHAFAI, P.E., P.P.
GREGORY S. BLASH, P.E., P.P., CPWM.
GERALD J. FREDA, P.E., P.P.
JENNIFER C. BEAHM, P.P., AICP
CHRISTINE L. BELL, P.P., AICP
SAMUEL J. AVAKIAN, P.E., P.L.S., P.P.

March 19, 2026
Revised March 23, 2026

Viveca Graham
Board Secretary
1740 Main Street
P.O. Box 569
Lake Como, NJ 07719

**Re: Zoning Board Application
1817 Pine Terrace
Block 15, Lot 8
Our File LCPB 26-02**

Dear Ms. Graham:

The Applicant is requesting approval from the Zoning Board to demolish an existing one-story dwelling and construct a two-and-a-half-story single-family dwelling, along with a concrete patio, shed, covered porch, rear staircase, and associated site improvements. At this time, the application has been deemed complete. The proposed improvements require variance relief as stated below.

1. Zoning and Land Use

- A. The property is located in the Residential Zone (R-40) Single-Family Residential District and is known as 1817 Pine Terrace or Lot 8 in Block 15 on the municipal tax map.
- B. Please refer to the table below for area and yard requirements per the zone:

- C. The Applicant shall testify whether the attic space is intended to remain unfinished and inaccessible for habitable use, as the 502 square feet shown was not included in the floor area ratio calculation.
- D. The Architect should be prepared to discuss materials and colors for the improvements proposed to the home.

4. **Conditions of Approval**

- A. Payment of any outstanding real estate taxes
- B. Granting of any required construction permits
- C. Resolution compliant plans shall be submitted for engineering review prior to construction permitting.

Our office has received and reviewed an application for variance approval submitted in connection with the above-mentioned project. The following documents were submitted in support of the application:

- Borough of Lake Como zoning denial dated November 26, 2025.
- Borough of Lake Como Planning Board Application dated December 1, 2025.
- Architectural plans consisting of two (2) sheets, prepared by Matthew Evans, AIA, dated October 28, 2025, last revised November 17, 2025.
- Topographic Survey for 1817 Pine Terrace consisting of one (1) sheet, prepared by Marc Cifone, P.L.S., dated September 22, 2025, with no revision dates.
- Grading Plan for 1817 Pine Terrace consisting of one (1) sheet, prepared by Michael DeBlasio, P.E., dated November 17, 2025, last revised February 19, 2026

This report is based on the information submitted and is subject to revision upon receipt of additional information. Should the Board or its professionals have any questions, or require additional information or clarification regarding this application, please do not hesitate to contact our office.

Very truly yours,

LEON S. AVAKIAN, INC.



Samuel J. Avakian, P.E., P.P., P.L.S.
Borough Engineer



architects + engineers

4810 Belmar Boulevard, Ste 201
Wall Township, NJ 07753 | tel 732.414.2661

| ENGINEERING NJ #24GA28019100

February 18, 2026

Lake Como Planning Board
c/o Viveca Graham, Board Secretary
1740 Main Street
P.O. Box 569
Lake Como, NJ 07719

**Re: Completeness Review #2
Tonero Variance Application
1817 Pine Terrace
Block 15, Lot 8
H2M Project No. LKCP2510**

Dear Chairman and Board Members:

I am in receipt of a revised application package for the referenced project. The application package now includes a revised application form; **New Single Family Home Site & Grading Plan prepared by Michael DeBlasio, P.E., dated November 17, 2025; Topographic Survey of Property prepared by Marc Cifone, P.L.S., dated September 22, 2025; Architectural Plans (2 sheets) prepared by Matthew G. Evans, R.A., last dated December 18, 2025; Soil Boring Description prepared by William Merunka, P.E., P.P., dated January 2, 2026; and a denied Zoning Application.** Based on a review of the submitted documents, I find the application is **incomplete** at this time for lack of the following:

- The Applicant has provided a Site Plan and a recent survey. However, both of these documents do not scale appropriately and listed dimensions are not reproducible. A revised Site Plan and survey must be provided with an acceptable scale.

Please note the revised Planning Board application has modified the Applicant for this application. The initial application was submitted by Michael DeBlasio, where the revised application was submitted by John and Deirdre Tonero.

I trust this report is suitable for your purposes. I will await submission of these documents before proceeding further with my review. If you have any questions regarding this application, please contact me.



architects + engineers

4810 Belmar Boulevard, Ste 201
Wall Township, NJ 07753 | tel 732.414.2661

| ENGINEERING NJ #24GA28019100

December 15, 2025

Lake Como Planning Board
c/o Viveca Graham, Board Secretary
1740 Main Street
P.O. Box 569
Lake Como, NJ 07719

**Re: Completeness Review
DeBlasio Variance Application
1817 Pine Terrace
Block 15, Lot 8
H2M Project No. LKCP2510**

Dear Chairman and Board Members:

I am in receipt of an application package for the referenced project. The application package includes an application form; Site Plan prepared by Michael J. DeBlasio, P.E., dated November 17, 2025; Architectural Plans (2 sheets) prepared by Matthew G. Evans, R.A., last dated November 17, 2025; and a denied Zoning Application. Based on a review of the submitted documents, I find the application is incomplete at this time for lack of the following:

- There is no depiction of the existing conditions at the site as part of this application. A copy of a recent site survey is required and must be to a recognizable scale. Additionally, the Site Plan must be revised to depict the proposed improvements to the site. The submitted copy does not clearly identify the proposed improvements.
- The Architectural Plans do not depict the depth of the proposed dwelling's foundation on the elevation drawings. The Architectural Plans must be revised to show the depth of the foundation on the elevation drawings. Furthermore, the elevation drawings must depict the Seasonal High-Water Table (SHWT) as determined on-site and must achieve the 2 foot separation from SHWT to basement floor in accordance with Borough Ordinance 2024-1.
- The Applicant listed on the Application Form is the Owner's Engineer/Contractor. Based on previous experience and the Board Attorney's past position on such applications, this is not acceptable. The Owner (or the Owner's Attorney) should be listed as the Applicant on a reformulated application form.

Ck# 5080 \$ 70 Rec'd by 11/26/25 Date DR Permit # 22500086

*** A NON-REFUNDABLE \$70.00 FEE MUST BE SUBMITTED WITH THIS APPLICATION***

Borough of Lake Como 5006

Zoning Application for Residential and Commercial Properties

ZONING

1. **Address of Property:** 1817 Pine Terrace

Block: 15 **Lot:** 8 **Zone:** R 40

2. **Property Designation:** Single Family Multi Family _____ Commercial _____

3. **Applicant's Name*:** Michael J DeBlasio, P.E.

Address: 307 9th Ave, Belmar, NJ 07719

Phone Number: 973-620-1885

***Applicant is:** Owner Contractor Other
(If other, please describe) Contractor and Engineer

4. **Owner's Name:** John & Deirdre Tonero

Address: 708 Pitney Dr, Spring Lake Heights NJ

Phone Number: 973-900-3618

5. **Type of Proposal: (please check)**

<input checked="" type="checkbox"/> New Home	<input type="checkbox"/> Alteration to Existing Home: 1 - 1 1/2 Story	<input checked="" type="checkbox"/> 2 - 2 1/2 Story
<input type="checkbox"/> Pool: Above Ground	<input type="checkbox"/> In-Ground	
<input checked="" type="checkbox"/> Shed	<input checked="" type="checkbox"/> Fence	<input type="checkbox"/> Deck
<input type="checkbox"/> Other *If other, please describe: _____		
Water Line: Existing _____ New _____ Upgraded <input checked="" type="checkbox"/>		
Sewer Line: Existing _____ New _____ Upgraded <input checked="" type="checkbox"/>		

Dimension of New Building/Addition: 24 x 48.5 **Height of New Building/Addition:** 35
Area of New Building/Addition: 2290 sq. ft. **Number and Types of Rooms:** 4 Bedroom, 2.5 Bathroom

* If multiple additions are being applied for, itemize the additions and provide all pertinent information for each addition as requested above. * If addition is a pool, please indicate type and height of fencing.

Additional Information:

New Construction single family home on undersized 30'x100' lot. Attached garage for parking. Detached shed in back yard.



Borough Of Lake Como
 1740 Main Street
 Lake Como, NJ 07719
 (732)681-3232

Denial
Zoning Permit

Permit Number: Z2500086 Permit Issue Date: 11/26/25 Invoice #: 25-00484
 Application Id: 5006 Application Date: 11/26/25

Owner/Property Details

Block/Lot/Qual: 15. 8.
 Owner Name: WERNER, WILLIAM R & CATHERINE J
 Address: 5 HOPPING LANE
 FLORHAM PARK, NJ 07932

Phone #:
 Zoning District:
 Location: 1817 PINE TERRACE

Contractor: DEBO CONSTRUCTION, LLC
 Address: 307 9TH AVE
 Belmar, NJ 07719
 Phone Number:
 License #: 13VH06299500

This is to certify that the above description premised together with any building thereon, are used as or for:

NEW HOUSE W/ATTACHED GARAGE AND SHED

Conditions:

DENIED
 SITE PLAN PREPARED BY MICHAEL J DEBLASIO PE DATED 11/17/25 INDICATES A PROPOSED 35' HEIGHT VARIANCE REQUIRED WHERE 26.25' IS ALLOWED ON A 30'X 100' LOT IN THE R-40 ZONE. A PLANNING BOARD HEARING IS REQUIRED

Payments (Office Use Only)

NOTE: If construction does not commence within one (1) year of issuance or if construction ceases for a period of six (6) months, this permit is void.

[Signature] *11/26/25*
 Zoning Officer Date

Block 15 Land Desc 30X100
 Lot 8 Bldg Desc 1SF
 Qual Addl Lots
 Acct# Acreage 0.069 Class 2

Owners Name
 Street Address
 City & State
 Property Location 1817 PINE TERRACE

Bank Zip 07932 Zone R-40
 Land Impr Total 565,000
 Exemption Code Value 0
 Net Taxable Value Deductions Cd No-Ow

SITE INFORMATION **DESCRIPTION** **SKETCH**

SEWER: YES
 WATER: YES
 GAS: YES
 TOPOGRAPHY: LEVEL
 ROAD: PAVED

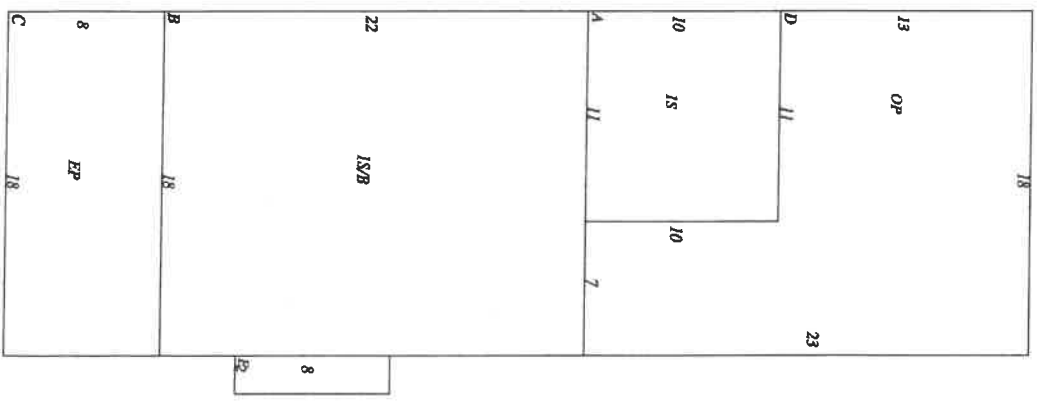
BUILDING INFORMATION
 Type and Use: ONE FAMILY
 Story Height: ONE STORY
 Style: RANCH
 Exterior Fin: WOOD SIDING

Roof Type: GABLE
 Roof Material: ASPHALT SHINGLE
 Foundation: CONC/CLND BLK
 Condition: FAIR
 Quality: 15
 Source:

Bath: Mod: Avg: Old: 1
 Kitchen: Mod: Avg: Old: 1
 Room Count: Tot: 4 Bed: 2 Bth: 1
 Year Built: 1921
 Eff Age (Years): 99
 Livable Area: 522

16 HEARING CHANGE
 BASEMENT 1
 FIRST STORY 396 SF
 FORGED HOT AIR 522 SF
 3 FIXTURE BATH 522 SF
 ENCLOSED PORCH 1
 OPEN PORCH 144 SF
 DETACHED GARAGE 304 SF
 OUTDOOR SHOWER 70
 50 190 SF
 1 SF

SALE DATE 00/00/00
 SALE PRICE 0





Borough of Lake Como

1740 Main Street, P.O. Box 569 • Lake Como, New Jersey 07719-0569
(732) 681-3232 • FAX (732) 681-8981

PLANNING BOARD APPLICATION

FOR MUNICIPAL USE ONLY	
Application Number:	_____
Received By:	<u>VA #12-1-25</u> _____
Fees Collected:	<u>\$150⁰⁰ ECU</u> _____
Hearing Date:	_____
Resolution Adopted By Board:	_____
<input type="checkbox"/> Granted <input type="checkbox"/> Denied	

If something is not applicable to the application being submitted, please specify with N/A

1. Applicant(s) Name, Address & Telephone Number

John & Deirdre Tonero, 708 Pitney Dr, Spring Lake Hts, NJ

2. If the applicant is being represented by an attorney, please state name, address & telephone number

3. Applicant is:

Corporation Partnership Individual Other _____

NOTE: If application is a corporation or a partnership, please attach a list of the names and addresses of persons having a 10% interest or more in the corporation or partnership.

4. The relationship of applicant to the property in question is:

Owner Lessee

5. If applicant is not Owner, please state name, address and telephone number of the owner:

John & Deirdre Tonero, 708 Pitney Drive, Spring Lake Hts, NJ



Borough of Lake Como

1740 Main Street, P.O. Box 569 • Lake Como, New Jersey 07719-0569
(732) 681-3232 • FAX (732) 681-8981

GENERAL INFORMATION

Meeting: As published pursuant to N.J.S.A. 40:55D-9 et and additional meetings scheduled as required.

Time: 7:00pm
Lake Como Borough Hall Meeting Room
1740 Main Street, Lake Como, NJ 07719

Chair: Joseph Cavaluzzi

Attorney: Adam Schneider, Esq.

PROCEDURES CHECKLIST:

Submit following with each application

1. One (1) original and three (3) copies of application form. Fill out application in its entirety. Answer all questions pertaining to your application. Update all tax information from Tax Collector/Assessor's office.
2. Appropriate fee-check made payable to the Borough of Lake Como in accordance with fee schedule.
3. Include fifteen (15) full size prints of site plan and/or subdivision map and/or survey and/or photographs as required. Survey should be signed, certified and dated within last ten (10) years.

****PLEASE FOLD PLANS, DO NOT ROLL****

Major Subdivision	N/A
Minor Subdivision (3 or less lots)	N/A
Preliminary Subdivision	N/A
Final Subdivision	N/A
Site Plan – Preliminary	N/A
Site Plan – Final	X
Hardship variance(s) – Single Family	X
Informal	N/A
Other	N/A

NOTE: When an application includes request for more than one action, the total accumulated for each action shall be collected. No application will be scheduled for hearing unless it is considered complete at least 21 days prior to the meeting date.

NOTE: When application represents requests for both preliminary and final approval simultaneously, both fees shall be collected.

William A. Merunka, P.E., P.P.
 President

R.C Associates Consulting Inc
2517 Rte 35 Building J Suite 102, Manasquan NJ 08736

SOIL BORING DESCRIPTION

PROJECT Tonero Residence **PROJ. #** 2025.126
LOT 8 **BLOCK** 15
ADDRESS 1817 Pine Terrace
MUNICIPALITY Lake Como
PREPARED BY RCA **DATE** 1/2/2026
BORING NO. SB-1
BORING DESCR. SB-1 FRONT YARD, RIGHT SIDE OF WALKWAY

DEPTH (FT)	THICKNESS	DESCRIPTION
0" - 12"	12"	SM
12" - 20"	8"	SW
20" - 40"	20"	GW
40" - 50"	10"	SP
50" - 56"	6"	GW
56" - 120"	64"	SP
-		
-		
-		
-		
-		
-		
-		
-		
-		

SOIL CLASSIFICATIONS	
GW	Well-graded gravels, gravel-sand mixtures, little or no fines.
GP	Poorly graded gravels or gravel-sand mixtures, little or no fines.
GM	Silty gravels, gravel-sand mixtures.
GC	Clayey gravels, gravel-sand mixtures.
SW	Well-graded sands or gravelly sands, little or no fines.
SP	Poorly graded sands, or gravelly sands, little or no fines.
SM	Silty sands, sand-silt mixtures.
SC	Clayey sands, sand-clay mixtures.
ML	Inorganic silts and very fine sands, rock flour, silty or clayey fine sands or clayey silts with slight plasticity.
CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clays.
OL	Organic silts and organic silty clays of low plasticity.
MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts
CH	Inorganic clays of high plasticity, fat clays.
OH	Organic clays of medium to high plasticity, organic silts.
PT	Peat and other highly organic soils.

SHWT 75"
WT 90"

William Merunka 1-2-26
 date



FREEHOLD SOIL CONSERVATION DISTRICT

(Serving Middlesex and Monmouth Counties)

4000 Kozloski Road, P.O. Box 5033

Freehold, New Jersey 07728-5033

Tel: (732) 683-8500

Fax: (732) 683-9140

E-mail: info@freeholdscd.org

Website: www.freeholdsoil.org

3/17/2026

JOHN & DEIRDRE TONERO
708 PITNEY DRIVE
SPRING LAKE HEIGHTS NJ 07760

Ref.#: 0012-F638
Proj.: 1817 PINE TERRACE DEMOLITION
Twp. : LAKE COMO
Block: 15
Lots : 8

PROJECT EXEMPTION

Dear JOHN & DEIRDRE TONERO,

This is to inform you that in accordance with the New Jersey Soil Erosion and Sediment Control Act; N.J.S.A. 4:24-39 et. seq., Chapter 251, P.L. 1975 and as amended by C. 264, P.L. 77 and C. 459, P.L. 79, anyone disturbing more than 5,000 square feet of the surface area of land for the accommodation of construction, must file an application along with Soil Erosion and Sediment Control plans to the local District office for review and certification.

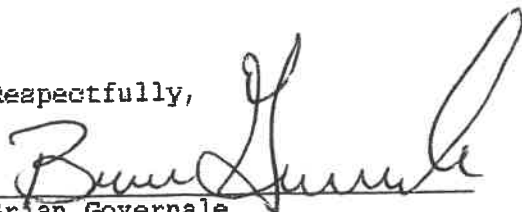
The above referenced project is exempt from the Act because of the enumerated reason below, and therefore does not require certification of a Soil Erosion and Sediment Control plan.

1. The single family residence demo/rebuild is exempt as the total soil disturbance for the lot is less than 5,000 square feet.

However, should the land disturbance exceed 5,000 square feet, submission and certification of a Soil Erosion and Sediment Control plan may be required.

If you should have any questions, please feel free to contact this office.

Respectfully,


Brian Governale
Resource Conservationist II

sw
cc: Planning Board
Construction Official
Municipal Engineer
Applicant's Engineer



architects + engineers

4810 Belmar Boulevard, Ste 201
Wall Township, NJ 07753 | tel 732.414.2661

ENGINEERING NJ #24GA28019100

September 9, 2025

Lake Como Planning Board
c/o Viveca Graham, Board Secretary
1740 Main Street
P.O. Box 569
Lake Como, NJ 07719

**Re: Completeness/Technical Review
Skora Major Subdivision/Site Plan Application
22nd Avenue at Margerum Avenue
Block 36, Lots 25 & 26
H2M Project No. LKCP2507**

Dear Chairman and Board Members:

I am in receipt of an application package for the referenced project. The application package includes a completed application form (for Minor Subdivision and Site Plan) and Sketch Plat prepared by Steven Metelski, Jr., PLS dated June 4, 2025. Based on a review of the submitted documents, I find the application is **incomplete** at this time for lack of the following:

- Application for Major Subdivision. The Borough Ordinance defines a "Minor Subdivision" as any subdivision of land fronting on an existing street that does not involve (among other non-applicable items) the creation of more than 3 lots (2 new lots and the remaining parcel). The proposal calls for 4 new lots and no remainder due to the reorientation of lot lines, which violates this condition. Accordingly, this application is classified as a Major Subdivision.
- Site Plan and stormwater management provisions for Major Development as defined in the Borough's Stormwater Ordinance and the NJDEP BMP Manual. The creation and development of the proposed four lots will likely exceed the aggregate allowable impervious cover of more than ¼ acre. Accordingly, a Site Plan addressing the prevailing Major Development Stormwater Regulations is required.

I trust this report is suitable for your purposes. I will await submission of these documents before proceeding further with my review. If you have any questions regarding this application, please contact me.

Very truly yours,

H2M ASSOCIATES, INC.

Alan P. Hilla, Jr., P.E., P.P., CME
Planning Board Engineer

cc: Skora Team, LLC, Applicant (via email)
Adam Schneider, Esq., Board Attorney (via email)
John Jackson, Esq., Applicant's Attorney (via email)



architects + engineers

4810 Belmar Boulevard, Ste 201
Wall Township, NJ 07753 | tel 732.414.2661

| ENGINEERING NJ #24GA28019100

February 15, 2026

Lake Como Planning Board
c/o Viveca Graham, Board Secretary
1740 Main Street
P.O. Box 569
Lake Como, NJ 07719

**Re: Completeness/Technical Review #2
Skora Major Subdivision/Site Plan Application
22nd Avenue at Margerum Avenue
Block 36, Lots 25 & 26
H2M Project No. LKCP2507**

Dear Chairman and Board Members:

I am in receipt of a revised application package for the referenced project. The revised package includes an Overall Development Plan prepared by William A. Stevens, P.E., P.P., dated June 5, 2025, a Stormwater Management Report prepared by William A. Stevens, P.E., P.P., dated October 30, 2025, a Sketch Plat prepared by Steven Metelski, Jr., P.L.S., dated June 4, 2025, a Boundary and Topographic Survey prepared by Steven Metelski, Jr., P.L.S., dated May 20, 2025, an Affidavit of Ownership, a Major Subdivision Completeness Checklist, a Property Tax document, and a completed application. At this time, I find that this application is substantially complete and may be scheduled for a public hearing at the Board's convenience. Accordingly, based on my review of these documents in conjunction with the Borough Zoning Ordinance, I offer the following comments for your use through the public hearing process.

General

The property in question is located on the northwestern corner at the intersection of 22nd Avenue and Margerum Avenue. This location is within the Borough's Residential Zone 40 (R-40). The property is of trapezoidal shape and is currently unoccupied and wooded. The Applicant proposes to subdivide the property into four (4) separate lots and construct a 2-story frame dwelling with crawlspace and porous paver driveway on each lot. The Applicant further proposes to construct two drywells on each property to handle stormwater runoff. The existing lot, proposed lots and proposed dwellings appear to be dimensionally conforming for the zone.

Land Use/Site Planning Issues

My review of the proposed plan identified the following issues that should be addressed through the public hearing process:

1. The Applicant's Stormwater Management Report states "the construction of these new homes will result in less than ¼ acre of new impervious cover and as such is not classified as major

development by the NJ Stormwater Regulations". Calculations of the impervious coverage as defined by NJDEP regarding a major development were not provided. Additionally, the proposed improvements do not encompass the entirety of the impervious coverage that could and will likely be installed at the site. Realistically, improvements such as patios, pools, sheds, etc., will be installed at each respective property as the ordinance permits up to 60% impervious coverage in the R-40 zone. At 60% impervious coverage, the site in aggregate would exceed the ¼ acre of impervious coverage at 0.305 acres, thus triggering NJDEP's major development designation. In fact, an NJDEP major development designation would be triggered even at 50% impervious coverage across the subject site. Accordingly, I believe the Applicant must prepare a stormwater design with calculations would achieve the requirements established for major developments as determined by NJDEP and the BMP Manual. Alternatively, the Board could consider a request from the Applicant that would effectively limit the future development of each lot to specific impervious coverage values to ensure future development does not break the threshold for a Major Development.

2. The site immediately to the west of the property (Behrman Park) has been identified as containing wetlands. The Board should insist that the Applicant secure a letter of interpretation (LOI) or other suitable documentation from NJDEP to determine the extent to which wetlands or wetland buffers impact the development of subject site.
3. Ordinance 2024-01 establishes standards for grading and drainage of lots within the Borough. Item B in the Ordinance states "The utilization of new retaining walls as part of lot grading is prohibited". The Applicant proposes a block retaining wall along the western boundary adjacent to Lot 28. This non-conformity warrants a variance from this provision in the ordinance.

Additionally, the proposed site design calls for the raising of the grade as compared to the existing condition by up to 2 feet. Item C in the Ordinance states "No alteration of an existing elevation of land shall be permitted without the approval of the Municipal Engineer." This point is offered for the Board's awareness. To the extent of the proposed improvements, the proposed grading plan appears sound from an engineering perspective.

Lastly, each lot is proposed to contain two drywells: one in the front yard to serve the roof leaders from the respective dwelling, and one in the rear yard to capture surface runoff generated by the new fill and grading. Item D in the Ordinance addresses drywells and establishes the requirements for these systems. The proposed drywells do not achieve two (2) feet of separation from the groundwater table and do not achieve the two (2) minimum feet of cover. Each of the drywells proposed in the front yard are within the 10-foot minimum separation from the dwelling, and the front yard drywells encroach within the 5-foot minimum separation from the property line on the two proposed westernmost lots. In addition, each of the proposed drywells in the rear lots do not meet the minimum groundwater separation requirements or depth to cover, and encroach within the 5-foot minimum separation from the property line. Each of these non-conforming conditions would require variance relief.

4. The proposed driveway curb cut for each proposed lot scales 18 feet, where 16 feet is the maximum established in the Borough Code. Accordingly, each driveway curb cut proposed would require variance relief.

5. The application does not include Architectural Plans as part of the application. Each of the dwellings proposed on their respective lot appear to be approximations of the dwelling that will ultimately be constructed. The Board should consider requiring Architectural Plans to ensure that the dwellings will conform to the placeholder established on the Overall Development Plan. This suggestion is in keeping with the Major Development concerns cited in Item 1 above.

Furthermore, without the Architectural Plans, it is unclear how many bedrooms are to be contained within each proposed dwelling. The Board should elicit testimony confirming the number of bedrooms in each dwelling to ensure the number of proposed on-site parking spaces is in conformance with the ordinance.

Lastly, without benefit of the floor plans for the proposed structures, it is unclear whether there will be attached garages or other dedicated storage space to support the proposed dwellings. This issue is of significant concern in light of the Major Development criteria cited in Item 1 above. The Board should elicit testimony regarding the Applicant's intent and facilities for storage.

6. The space located at the curb between the two easternmost proposed lots is approximately 14ft, which isn't long enough for a true parking space. There is abundant space along the proposed subdivision to maximize the number of street parking spaces, given the Borough's ongoing struggle with street parking. The layout of driveways should be revised to eliminate partial spaces to the extent possible.
7. The proposed development would call for the significant clearing of much of the subject lot. The Board should elicit testimony regarding intended efforts to limit or selectively clear the site and what tree planting is anticipated to replace the cleared trees.
8. The site visit revealed that while the curb and sidewalk along the 22nd Avenue frontage is in fair to good condition, that along the Margerum Avenue frontage is in fair to poor condition. The Board should consider conditioning any approval on the repair or replacement of curb and sidewalk there.

Additionally, the site visit revealed that 22nd Avenue was repaved recently, and research indicated that that occurred in the last 5 years. The proposal would call for multiple cuts in the new pavement to afford service connections for water, sewer and gas to each of the homes. Given the information provided on the Overall Development Plan, it appears that there would be short side, mid-line and far side connections, likely rendering the new pavement a mess. And this would impact nearly the full width of the pavement. Accordingly, I recommend that Board consider conditioning any approval on the full width milling and paving of 22nd Avenue upon completion and suitable settlement of the utility connection work.

9. The application package includes a Sketch Plat for the proposed major subdivision; however, while this document suffices for the Board's consideration with respect to the proposed subdivision, it does not rise to the level of detail necessary for perfecting the subdivision vis map filing. Accordingly, I have not reviewed this document for conformance with Title Recordation Act requirements and reserve the right to such review when a proper Final Subdivision Plat is provided to the Board.

Skora Major Subdivision
22nd Avenue Subdivision
February 15, 2026
Page 4 of 4



I trust this report is suitable for your purposes. If you have any questions regarding this application, please contact me.

Very truly yours,
H2M ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read 'Alan P. Hilla, Jr.' with a stylized flourish at the end.

Alan P. Hilla, Jr., P.E., P.P., CME
Planning Board Engineer

cc: Skora Team, LLC, Applicant (via email)
Robert Witek, Esq., Board Attorney (via email)
John Jackson, Esq., Applicant's Attorney (via email)

Ck# CASH \$ 70⁰⁰ Rec'd by WH Date 2-16-23 Permit # 23-10

*** A NON-REFUNDABLE \$70.00 FEE MUST BE SUBMITTED WITH THIS APPLICATION***

Borough of Lake Como

Zoning Application for Residential and Commercial Properties

ZONING

1. Address of Property: 762 22nd ave

Block: 36 Lot: 25 + 26 Zone: _____

2. Property Designation: Single Family _____ Multi Family _____ Commercial _____

3. Applicant's Name*: Dennis Balke 08817

Address: 1 Kimble st Edison, NJ

Phone Number: _____

*Applicant is: Owner Contractor _____ Other _____
(If other, please describe) _____

4. Owner's Name: D Same as Above

Address: _____

Phone Number: _____

5. Type of Proposal: (please check)

<input type="checkbox"/> New Home	<input type="checkbox"/> Alteration to Existing Home: 1 - 1 1/2 Story	<input type="checkbox"/> 2 - 2 1/2 Story
<input type="checkbox"/> Pool: Above Ground	<input type="checkbox"/> In-Ground	
<input type="checkbox"/> Shed	<input type="checkbox"/> Fence	<input type="checkbox"/> Deck
<input type="checkbox"/> Other *If other, please describe: _____		
Water Line: Existing	<input type="checkbox"/> New	<input type="checkbox"/> Upgraded
Sewer Line: Existing	<input type="checkbox"/> New	<input type="checkbox"/> Upgraded

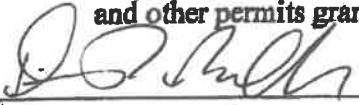
Dimension of New Building/Addition: _____ x _____ Height of New Building/Addition: _____
Area of New Building/Addition: _____ sq. ft. Number and Types of Rooms: _____

* If multiple additions are being applied for, itemize the additions and provide all pertinent information for each addition as requested above. * If addition is a pool, please indicate type and height of fencing.

Additional Information: subdividing property facing margetum
to 22nd ave to sell property next
to the Park

6. * Must Submit Two (2) Copies of Plot Plan/Survey Indicating Proposed Structures with Dimensions and Setbacks from Property Lines *****

7. Applicant certifies that all statements and information made and provided as part of this application are true to the best of their knowledge, information and belief. Applicant further states that all pertinent municipal ordinances, and all conditions, regulations and requirements of site plan approvals, variances, and other permits granted with respect to said property shall be complied with.



Signature of Applicant

2/16/23
Date



Office Use Only

Zoning Reviewer: "SEE ATTACHED" Date: _____

Application Complete: Yes ___ No ___

Approved: _____ Rejected: _____

Planning/Variance Board action needed: Yes ___ No ___

Proposed Work Needs Construction Permits: Yes ___ No ___

Mercantile License Needed? Yes ___ No ___

Notes:

6. ***** Must Submit Two (2) Copies of Plot Plan/Survey Indicating Proposed Structures with Dimensions and Setbacks from Property Lines. *****
7. Applicant certifies that all statements and information made and provided as part of this application are true to the best of their knowledge, information and belief. Applicant further states that all pertinent municipal ordinances, and all conditions, regulations and requirements of site plan approvals, variances, and other permits granted with respect to said property shall be complied with.

"SEE ATTACHED"

Signature of Applicant

Date

Office Use Only

Zoning Reviewer: John Rowe Date: 02/27/2023

Application Complete: Yes No

Approved: Rejected:

Planning/Variance Board action needed: Yes No

Proposed Work Needs Construction Permits: Yes No

Mercantile License Needed: Yes No

Notes: OWNERS PROPOSE TO SUBDIVIDE 2 LOTS INTO 4 LOTS FACING 22ND AVE. THIS WILL REQUIRE A HEARING OF THE PLNNGING BOARD.

____ **Approved**
____ **(Denied)**
____ **Received**

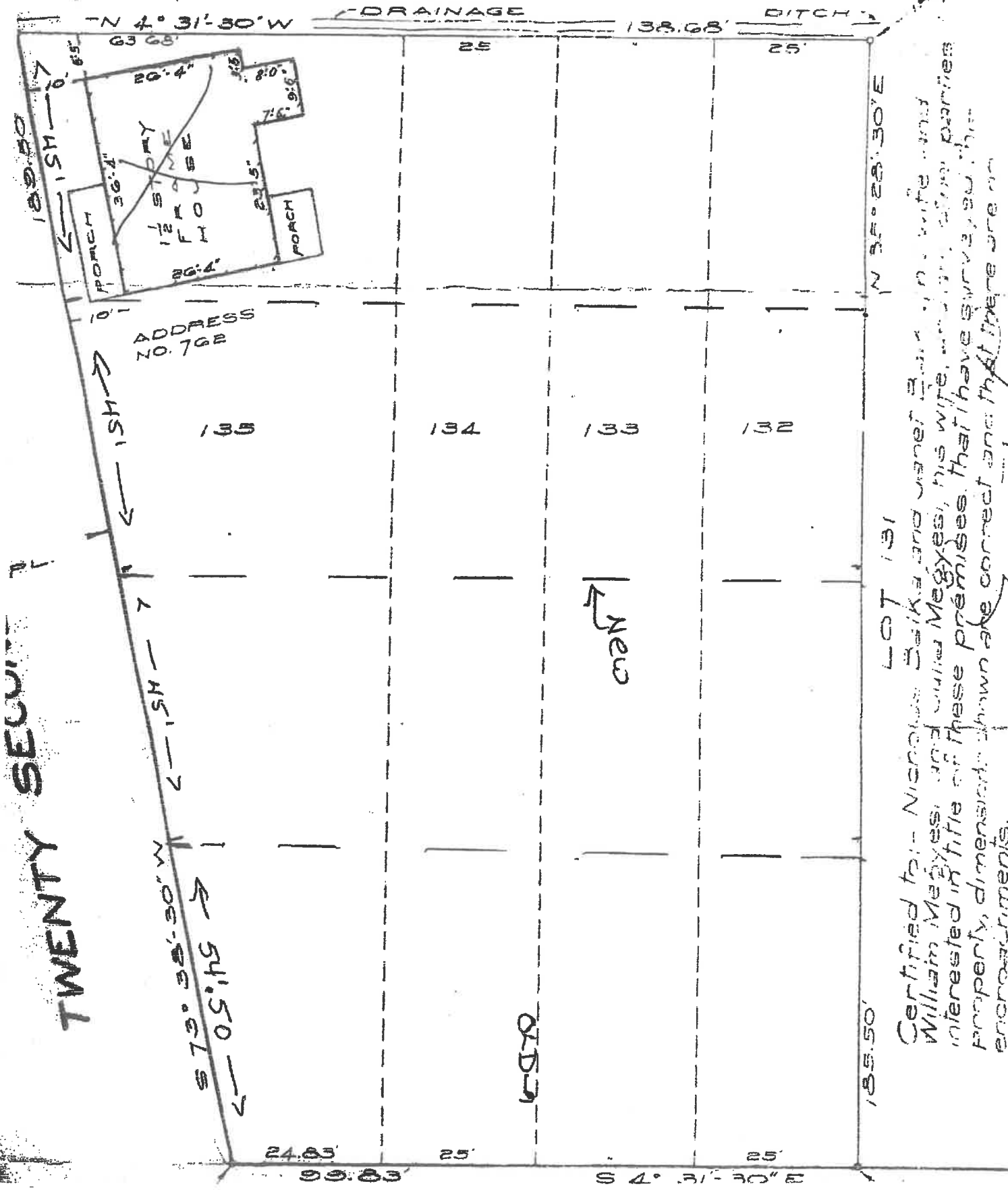


John P. Rowe, Zoning Officer

2/27/23

Date

SHOWN ON MAP OF TENT CITY - SOUTH BELMAR
 WALL TOWNSHIP - MONMOUTH COUNTY - N. J., OWNED
 AND DEVELOPED BY MILLER MARGERUM
 180 E. STATE ST., TRENTON - N. J. FILED SEPT. 16, 1919
 CASE 21-SHEET 26.



TWENTY SECURITY

LOT 131
 Certified to: Nicholas Saika and Janet Saika, his wife and
 William Megyesi, and Julia Megyesi, his wife, and any parties
 interested in title of these premises that have surveyed this
 property, dimensions shown are correct and that there are no
 encroachments.

Belmar Borough
Sixteenth Ave.



**ZONING MAP
OF THE
BOROUGH OF LAKE COMO
MONMOUTH COUNTY
NEW JERSEY**

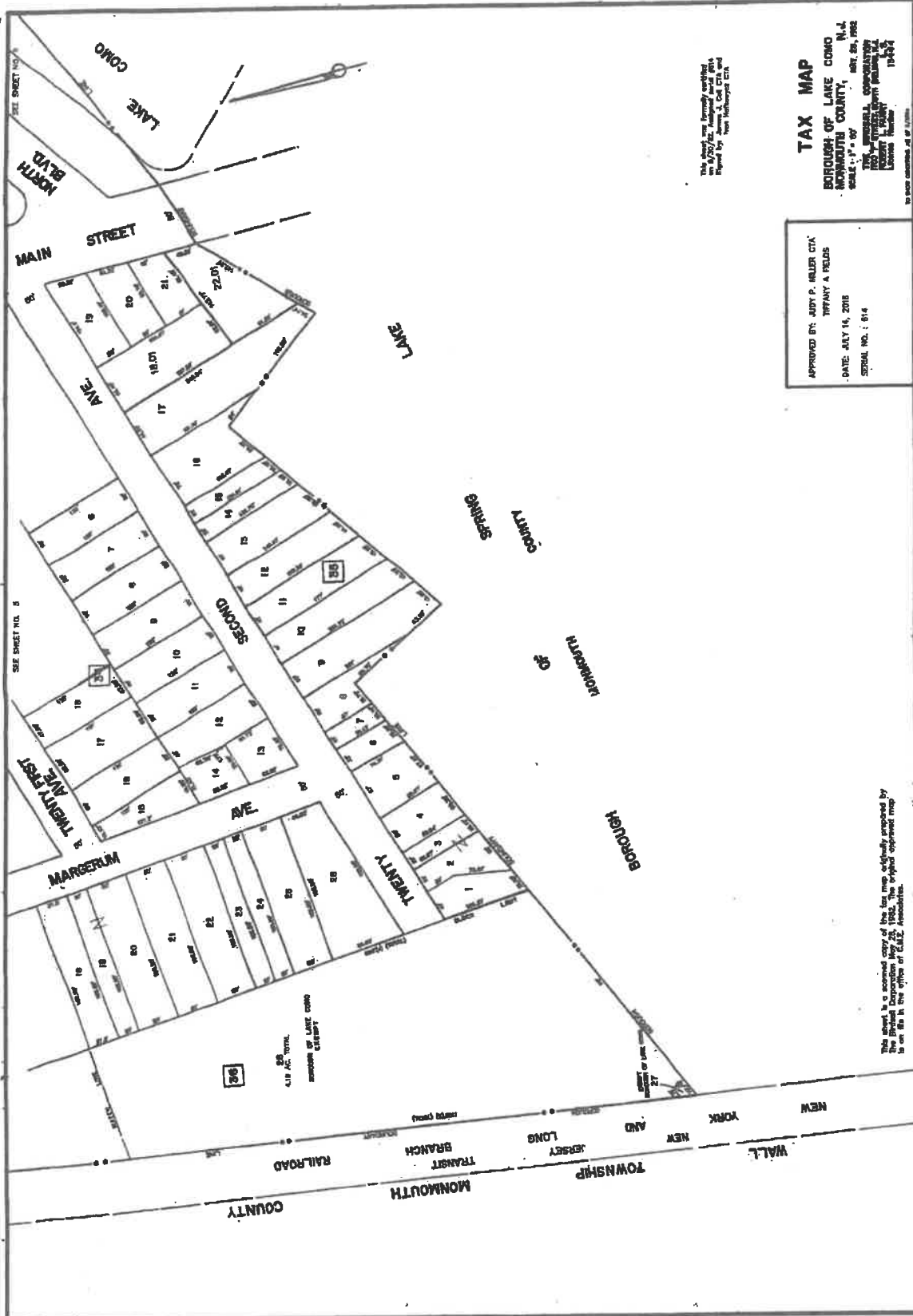
- Zoning Districts**
 Residential- R-60
 Residential- R-50
 Residential- R-40
 Multi-Family- MF
 General Business- GB
 Mixed Use Overlay Zone
 Public Property

BIRDSALL SERVICES GROUP
 ENGINEERS & CONSULTANTS

611 Industrial Way West
 Eatonsville, NJ 07724
 Certificate of Authorization No. 240A27981800

Tel: 202.380.1200
 Fax: 202.380.1293
 www.birdsall.com

Sources: Municipal Parcel and Zoning Maps	DRAWN BY: KCM	SCALE 1"=400'
Job No: 300006450001	DATE 11.12.10	
File Name: Adopted Zoning Map		



TAX MAP
 BOROUGH OF LAKE COMO
 MONMOUTH COUNTY, N.J.
 SCALE: 1" = 200'
 THIS MAP WAS COMPILED BY
 COUNTY PLANNING BOARD
 COUNTY CLERK
 10/15

APPROVED BY: JUDY P. MILLER CTA
 TRACY A. RELOS
 DATE: JULY 14, 2018
 SERIAL NO.: 614

This map was compiled and plotted by James J. O'Connell and John J. O'Connell, Inc. 10/15

This map is a scanned copy of the tax map originally prepared by the Borough of Lake Como and is not to be used as a legal document. It is on file in the office of the County Clerk.



Borough of Lake Como

1740 Main Street, P.O. Box 569 • Lake Como, New Jersey 07719-0569
(732) 681-3232 • FAX (732) 681-8981

PLANNING BOARD APPLICATION

FOR MUNICIPAL USE ONLY	
Application Number:	26 -
Received By:	JH 12-23-25
Fees Collected:	# APP / # LLC
Hearing Date:	
Resolution Adopted By Board:	
<input type="checkbox"/> Granted <input type="checkbox"/> Denied	

If something is not applicable to the application being submitted, please specify with N/A

1. Applicant(s) Name, Address & Telephone Number

Skora Team, LLC c/o Natalia Skora

649 Homestead Road, Jackson, NJ 08527

732-664-6333 --- skorateam23@gmail.com

2. If the applicant is being represented by an attorney, please state name, address & telephone number

John Jackson, Esq. - JJJ Law Firm

2329 NJ-34 Ste 205, Manasquan, NJ 08736

732-920-8383

3. Applicant is:

Corporation Partnership Individual Other **LLC**

NOTE: If application is a corporation or a partnership, please attach a list of the names and addresses of persons having a 10% interest or more in the corporation or partnership.

4. The relationship of applicant to the property in question is:

Owner Lessee

5. If applicant is not Owner, please state name, address and telephone number of the owner:

Skora Team, LLC c/o Natalia Skora

649 Homestead Road, Jackson, NJ 08527

732-664-6333 ---- skorateam23@gmail.com

6. Application is a request for the following:

- Preliminary Site Plan
- Final Site Plan
- Joint Preliminary and Final Site Plan
- Minor Subdivision (3 or less lots)
- Preliminary Subdivision
- Final Subdivision
- Joint Preliminary and Final Subdivision
- Variance requests, including bulk or use variances – please specify

○ _____

Informal Hearing

7. Give a brief description of application:

Major Subdivision, subdividing the existing two lots into four new lots.

8. Street Address of Property:

Twenty Second Avenue

Block: 36 Lot: 25 & 26

9. Use of Property:

Vacant

Existing:

Vacant

Zone:

R-40

Proposed:

Major Subdivision

Lot Area:

Building Area:

10. Map Information:

Major Subdivision

Map Dated:

Prepared By:

Professional Design Services, LLC

Map Entitled:

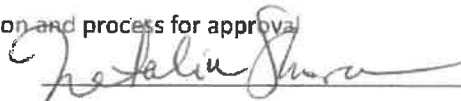
Major Subdivision

11. Additional comments by applicant which may be relevant to hearing:

I certify that the statements and information contained in the application are true. I authorize the applicant to submit this application and process for approval

12-15-25

Date



Applicant/Agent

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY

COUNTY OF OCEAN

Skora Team, LLC c/o Natalia Skora _____, of full age, being duly sworn according to law, on oath deposes and says that the deponent resides at **649 Homestead Road** _____ in the municipality of **Jackson** _____, in the County of **Ocean** _____, and the State of **New Jersey** _____ that is the owner in the fee of all that certain lot, tract, parcel of land, situated, lying and being in the Township of ^{Borough of Lake Como} Berkeley, Ocean County, New Jersey, and know and designated as block **36** _____ lot **25 & 26** _____ street address of **Twenty Second Avenue** _____.


Owner Signature

Sworn to and subscribed
Before me this 15th day
of December, 2025

ZACHARY J THEIN
Notary Public
State of New Jersey
My commission expires September 18, 2029

A Notary Public of New Jersey

AUTHORIZATION

If anyone other than the above is owner is making this application, the following authorization must be executed

TO THE PLANNING BOARD
Skora Team, LLC c/o Natalia Skora _____ is hereby authorized to make the within application

Dated: _____

Owner Signature



**MONMOUTH COUNTY
DEVELOPMENT REVIEW
COMMITTEE**

Development Application Status

FILE NUMBER: LCSB1003

Application:	Twenty Second Avenue subdivision	Municipality:	Lake Como
Applicant:	Skora Team, LLC	Municipal Agency:	Planning Board
Owner:	Applicant	Block:	36
Design Professional:	Professional Design Services	Lot:	25 & 26
Plan Date:	6/5/2025	Date Received:	12/19/2025
Project Description:	Four-lot residential subdivision		

Application Status & Actions		
Correspondence	Date Issued	Application Status
Development Review Committee Action	1/12/2025	Preliminary Approval

If conditionally approved, the conditions listed below or on the attached sheet shall be satisfactorily addressed before final approval is issued. This action does not release the applicant from obtaining a consistency determination pursuant to N.J.A.C. 7:8-1 et seq. (Monmouth County Area-wide Water Quality Management Plan). Prior to commencing any work within the right-of-way of a county highway or before doing any work that affects a county bridge, the applicant is required to obtain a road opening permit from the Monmouth County Highway Department. A review of the location of subsurface utilities within county road rights-of-way will be conducted by the County Highway Department upon application for a road opening permit. Prior to planting or removal of trees or shrubs within or along the right-of-way of a county highway, the applicant is required to obtain a permit from the Monmouth County Shade Tree Commission. Note: County review is made only on items covered by statutory authority.

- Prior to final approval, the applicant shall submit one (1) physical copy of the final plat, the final plat fee (\$150.00), and an AutoCAD drawing (.dxf format) of the approved final subdivision plat. The AutoCAD drawing shall be submitted via a USB portable storage device or emailed to DevelopmentReview@co.monmouth.nj.us. CD's will not be accepted.

Submit all questions via email to DevelopmentReview@co.monmouth.nj.us. Plat signing is by appointment only.

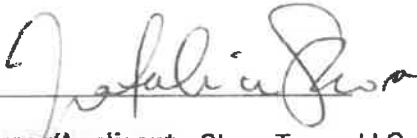
Joseph Barris, P.P., A.I.C.P., C.F.M.
Director of Planning
For the Development Review Committee

cc: Professional Design Services
John Jackson, Esq.
Mark R. Aikins, Esq.
J. Ettore; V. Cardone; T. Lombardi; V. Zabat; M. Brusca
Highway Department
Construction Official
LCSB1003 1483 PA

Monmouth County Planning Board
Hall of Records Annex
1 E. Main Street
Freehold, NJ 07728-1255

Phone: 732-431-7460
Email: DevelopmentReview@co.monmouth.nj.us

Pursuant to checklist item number 7 the owner and applicant agree to save the Borough, its Officers and Engineer harmless from any loss due to damage resulting from the grading, drainage or development of the property.

x 

Owner/Applicant – Skora Team, LLC c/o Natalia Skora



Borough of Lake Como

1740 Main Street, P.O. Box 569 • Lake Como, New Jersey 07719-0569
(732) 681-3232 • FAX (732) 681-8981

Major Subdivision Completeness Checklist

This checklist is provided to applicants to assist in the determination of whether the application is complete, as required by N.J.S.A. 40:55D-10.3 of the Municipal Land Use Law. The applicant completes this checklist and submits it at the time of initial application.

Application Number	_____
Applicant Name	<u>Skora Team, LLC c/o Natalia Skora</u>
Block & Lot	<u>Block: 36 - Lots: 25 & 26</u>

Affidavit of Completeness:

I, the undersigned affirm this application fully complies with all standards and requirements contained in the Municipal Land Use Law N.J.S.A. 40:55D-1 et. seq. and amendments thereto, the Development Ordinance of the Borough of Lake Como Checklist.

William A. Stevens, P.E., P.P.

Name (print or type)



Date

Signature/Seal & License Number

Borough of Lake Como

Application Number _____
Applicant Name _____

Date _____
Received By _____

PRELIMINARY MAJOR SUBDIVISION CHECKLIST – PART A
SUBMISSION OF DOCUMENTS

Prior to issuance of a Certificate of Completeness, the Administrative Officer shall determine that the following documents have been submitted:

- | C | N | N/A | |
|-------------------------------------|--------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 1. Ten (10) copies of Application Form |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 2. Eight (8) sets of site plans |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 3. Proof of application to the Freehold Soil Conservation District |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 4. Certification of owner authorizing submission of the application |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 5. Certification of payment of property taxes |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 6. Proof of application to the Monmouth County Planning Board |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 7. Three (3) copies of a letter, in a form prescribed by the Borough Attorney, save the Borough, its Officers and Engineer harmless from any loss due to damage resulting from the grading, drainage or development of the property |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 8. Notice and proof of service |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 9. Application Fee - \$ <u>750.00</u> |

C – Complete

N – Incomplete

N/A – Not Applicable

Borough of Lake Como

Application Number _____

Date _____

Applicant Name _____

Received By _____

SITE PLAN CHECKLIST – PART B
PLAT REQUIREMENTS

- 1. **General Requirements: The plat for a major subdivision shall be drawn at a scale of not less than one hundred feet (100') to the inch, shall conform to the provisions of the New Jersey Map Filing Law, N.J.S.A. 16:23-9.9 et. seq. and shall include, or be accompanied by the information specified below:**
 - a. All dimensions, both linear and angular, of the exterior boundaries of the subdivisions, all lots and lands reserved or dedicated for public use shall balance and their descriptions shall close within a limit of error of not more than one (1) part in ten thousand (10,000)
 - b. The major subdivision shall be based on a current boundary survey, prepared in accordance with New Jersey Administrative Code 13:40-5.1, "Preparation of Land Surveys", dated September 1984 and as amended, certified to the subdivider.

- 2. **Title Block: The title block shall appear on all sheets in conformance with N.J.S.A. 45:8-27 et. seq. (Map Filing Law) and included:**
 - a. Title to read "Major Subdivision"
 - b. Name of Subdivision, if any
 - c. Tax map sheet, block and lot number(s) of the tract to be subdivided as shown on the latest Borough Tax Map, the date of which shall be shown
 - d. Acreage of the tract to be subdivided to the nearest hundredth of an acre
 - e. Names and addresses of owner and developer, so designated
 - f. Date of original and all revisions
 - g. Name, signature, address and license number of the land surveyor who prepared the map and made the survey; the plat shall bear the embossed seal of said land surveyor

- 3. **Plat Detail Information**
 - a. A key map at a scale of not less than one (1") inch equals one thousand feet (1,000') showing the location of the tract to be subdivided with reference to surrounding areas, existing streets and any zone boundaries which are within five hundred feet (500') of the subdivision
 - b. Sufficient elevations or contours to determine the general slope and natural drainage of the land and the high and low points and tentative cross sections and center line profiles for all proposed new streets.
 - c. The location of existing and proposed property lines, streets, buildings, water courses, railroads, bridges, culverts, drain pipes and any natural features such as wooded areas and rock formations

- d. Preliminary plans of proposed utility layouts for sewers, storm drains, water, gas and electricity showing feasible connections to existing or any proposed utility systems. If no permanent water supply or sewage disposal system is available, the developer shall be required to provide permanent installation for future connections to a proposed system; the plan for such system must be approved by the appropriate local, county, or State health agency. When a public sewage disposal system is not available, the developer shall have percolation tests made as required by the State Board of Health and submit the results with the preliminary plan. Any subdivisions or part thereof which does not meet with the establishment requirements of this ordinance or other applicable regulations shall not be approved. Any remedy proposed to overcome such a situation shall first be approved by the appropriate local, county or State health agency.
- e. A copy of any protective covenants or deed restriction applying to the land being subdivided.
- f. North arrow
- g. Written and graphic scales
- h. Proposed lot and block numbers as assigned by the Borough Tax Assessor

Borough of Lake Como

Application Number _____

Applicant's Name _____

FOR MUNICIPAL USE ONLY

Application submitted on: _____

Part A – Complete/Incomplete: _____ Part B – Complete/Incomplete: _____

Application reviewed and declared complete on: _____

Application reviewed and declared incomplete on: _____

Reason: _____

This application will be heard on: _____

Upon completeness certification, distribute as follows:

	Board or Agency	Plans Forwarded	Report Dated	Report Received
1.	Borough Engineer	_____	_____	_____
2.	Fire Chief/Prevention	_____	_____	_____
3.	Zoning Officer	_____	_____	_____
4.	Tax Assessor	_____	_____	_____
5.	County Planning Board	_____	_____	_____
6.	Board of Health	_____	_____	_____
7.	Environment Commission	_____	_____	_____
8.	Police Department	_____	_____	_____

Borough of Lake Como

Date Received _____

County Code _____

Return To: Monmouth County Planning Board
Environmental Planning Board
One East Main Street
Freehold, NJ 07728-1255

Environmental Assessment Checklist

To be completed by applicants and included in the Subdivision and Site Plan review package.

Project Name: Twenty Second Avenue

Phase (if applicable): _____

Municipality: Borough of Lake Como

Block & Lot(s): Block: 36 - Lot: 25 & 26

Acreage: 0.508 ac +

Applicant's Address: 649 Homestead Road +

City: Jackson State: NJ

Telephone: 732-664-6333

Person Completing this Checklist: William A. Stevens, P.E., P.P.

Signature: _____

Title: Engineer

Project Type: (Check One)

- Site Plan, provide SIC code in known _____ []
- Major subdivision, number of units 4 _____ []
- Minor subdivision, number of units _____ []
- Condominium type and number of units _____ []

Borough of Lake Como

CHECK ALL STATEMENTS THAT APPLY

Project Construction:

- NJDEPE permits are required (see attached checklist)
- The project will be completed in phases
- Construction will continue for more than one year
- The project will include industrial or research use
- The project will include manufacturing use

Physical Features:

- On-site slopes exceed 10 percent
- Slopes greater than 15 percent will be distributed
- Depth to water table is 3 feet or less
- Excavations may expose acid soils
- Impervious area will exceed 10,000 square feet and/or 75 percent of the site
- Project area within 200 feet of site includes a mapped or known flood zone
- Project area included a greenway mapped by Monmouth County or a municipality
- Parking will be in excess of 4 spaces

Drainage:

(for the next four questions please refer to the Monmouth County Planning Board Drainage Features Map)

- Name of Drainage Basin _____
- Name of Watershed Atlantic Ocean
- Name of sub-watershed Lake Como
- Name of stream project drains to Polypod Brook

Water:

- Project includes or is adjacent to open water or wetlands
- Project will divert ground water supplies
- Project will require siltation controls
- Grading will alter existing drainage patterns
- Project will require storm water outfalls
- Project will require detention/retention/ditches
- Project will require drainage swales/ditches
- Drainage water will be routed offsite
- Drainage water will be routed to a stream/wetland

Agricultural Resources:

- The site was farmed sometime in the past
- The project will irreversibly convert more than two acres of agricultural land to other uses
- The project is expected to sever, cross or limit access to agricultural land (cropland, hayfields, pasture, vineyards, orchards, nursery, etc.)
- Construction activity will excavate or compact soil profiles on onsite agricultural land
- Construction activity will excavate or compact soil profiles on offsite agricultural land
- Contiguous lands are in agricultural use

Plants and Animals:

- New Jersey Heritage Data base has been consulted to determine the historic record of sightings and the potential presence of habitat for threatened or endangered species

- Habitat for threatened or endangered species is known to exist in the project area
- The project area includes any portion of a known critical or significant wildlife habitat
- New Jersey Native Plant Society has been contacted to ascertain the presence of wildflower or wild herb plant communities or specimens
- The project will result in the removal of native wildflower or wild herb communities or specimens
- The project will require the removal of more than one half acre of forest cover

Aesthetic Resources:

- A detailed landscape plan has been prepared
- The project includes buffer screening along the perimeters
- Non-vegetative buffer screens are proposed
- Onsite lighting will be screened to prevent offsite scatter
- The project is located along a scenic byway

Historic and Archaeological Resources:

- The project includes or is contiguous to a facility listed on a Municipal, County, State or Federal Registrar of historic places
- The project is located within a Historic District
- The project includes an archaeological site or fossil bed
- The project is located near where archaeological sites or fossil beds have been known to occur

Open Spaces and Recreation Resources:

- The project includes lands shown as proposed open space and/or greenways on the official Monmouth County Open Space Master Plan Map
- The project is adjacent to an existing or proposed Green Acres site or municipal preserve, natural area, park or recreation site
- The project will not include recreational facilities

Utilities and Waste Management:

- The project will require an increase in regional solid waste disposal facility capacity
- The project will require sewage treatment facilities to be expanded or installed
- Septic facilities will be installed or expanded
- The project will require an extension or increase in regional water purveyor capacity
- The project will require and/or improvements in electric or gas delivery systems and/or capacity

Air Resources:

- The project will reduce existing levels of service at intersections serving the project
- The project will decrease levels of service on adjoining roadways
- The project will require an increase in public transit capacity
- The project will require or include alterations to roadways, intersections, and/or bridges
- The project will alter the existing mix of vehicles which use near-by Municipal and County roadways
- The project includes construction of a chimney or stack
- The project is expected to emit industrial gases

Noise and Odor:

- The project, when completed, may produce or increase odors or vibrations
- The completed project will produce operating noise in excess of existing outside ambient noise levels

- The project will remove natural or man-made screens which buffer existing and future noise generators from noise receptors
- The project will employ construction procedures which may exceed typical noise, odor and/or dust emissions

Borough of Lake Como

STATE AND REGIONAL PERMITS AND/OR CERTIFICATIONS

Check all that the project will require as well as statuses

	-----Status-----		
	Applied	Pending	Action
<input type="checkbox"/> CAFRA	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Statewide General Freshwater Wetland Permit	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Open Water Fill Permit	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Individual Freshwater Wetlands Permits	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Transition Area Waiver Averaging Permit	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Stream Encroachment	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Water Diversion	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input checked="" type="checkbox"/> Soil Erosion and Sediment Certificate	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
<input type="checkbox"/> Air Pollution Control	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Waterfront Development	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Discharge Prevention & Control	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Underground Storage Tank (UST)	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Dam Repair/Construction	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Realty Improvement Sewerage and Facilities Certificate	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> NJPDES Permit (Surface Waters)	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> NJPDES Permit (Ground Waters)	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Sewer Extension/Construction	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Sewer Connection Exemption	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Water Quality Certificate	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Solid Waste Facility Registration	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Disruption of Solid Waste	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Recycling Facility	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Haz/Waste Facility	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> ECRA	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Water Diversion (surface)	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Water Diversion (groundwater)	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Well Drilling Permit	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Portable Water Facility	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Green Acres Review	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Access Driveway Permit	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Drainage Permit	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Highway Advertising Permit	<input type="checkbox"/>	<input type="checkbox"/>	_____
<input type="checkbox"/> Outdoor Advertising Permit	<input type="checkbox"/>	<input type="checkbox"/>	_____

- D&C Canal Review _____
- Delaware River Basin Commission Review _____

Any additional questions _____

*Conditional, Denied, Other

STORMWATER MANAGEMENT REPORT

for

BLOCK: 36 – LOTS: 25 & 26

**BOROUGH OF LAKE COMO
MONMOUTH COUNTY
NEW JERSEY**

PREPARED BY:

PROFESSIONAL DESIGN SERVICES, L.L.C.

1245 AIRPORT ROAD

SUITE 1

LAKEWOOD, NJ 08701

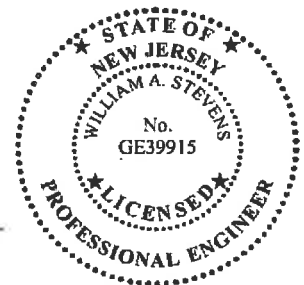
732-363-0060

PDS Ref. No. 325525

William Stevens

William A. Stevens, P.E., P.P.

NJ License No. 39915



October 30, 2025

The Proposed Site in Borough of Lake Como in Monmouth County New Jersey Block: 36 and Lots: 25 & 26 is proposed for the construction of four single family dwellings. The project has been deemed to be a major subdivision by the Township Engineer. The existing site is vacant and predominantly wooded. The construction of these new homes will result in less than ¼ acre of new impervious cover and as such is not classified as major development by the NJ Stormwater Regulations.

This Storm Water Management Report has been prepared to address the concerns of the Borough of Lake Como

The methodology utilized to analyze this development is to provide a small-scale underground infiltration system to recharge storm water from the roofs of the proposed homes. The system has been designed so that the volume of a 100-year storm event will be stored and infiltrated back to groundwater resulting in zero runoff leaving the site from the proposed roofs of the new homes. Calculations showing the proposed hydrograph and the design of the small-scale underground infiltration system can be found in the appendix of this report.

Proposed 2 story family dwelling 100-year Roof runoff volume	= 871 CF
Proposed recharge system volume	= 218 CF
Total Roof Runoff Volume recharged	= 871 CF

Driveways for the proposed homes will be constructed from porous driveway pavers which system will also store and infiltrate the volume of a 100-year storm for the driveway.

In addition, drywells will be installed in the rear of the proposed homes to handle runoff from the proposed rear yard lawns.

The combined systems for this project will result in no additional runoff to Twenty Second Avenue from the proposed development.



Roof



Roof Recharge System



Routing Diagram for Roof Recharge # 325525 Lot 25.01 JFT
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Project Notes

Rainfall events imported from "Post Development.hcp"

Roof Recharge # 325525 Lot 25.01 JFT

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Rainfall Events Listing

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	2 year	NOAA 24-hr	D	Default	24.00	1	3.42	2
2	10 year	NOAA 24-hr	D	Default	24.00	1	5.38	2
3	100 year	NOAA 24-hr	D	Default	24.00	1	9.48	2

Roof Recharge # 325525 Lot 25.01 JFT

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Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.028	98	Roof (R1)
0.028	98	TOTAL AREA

Roof Recharge # 325525 Lot 25.01 JFT

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Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
0.000	HSG B	
0.000	HSG C	
0.000	HSG D	
0.028	Other	R1
0.028		TOTAL AREA

Roof Recharge # 325525 Lot 25.01 JFT

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Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	0.000	0.000	0.028	0.028	Roof	R1
0.000	0.000	0.000	0.000	0.028	0.028	TOTAL AREA	

Roof Recharge # 325525 Lot 25.01 JFT

NOAA 24-hr D 2 year Rainfall=3.42"

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Time span=0.00-20.00 hrs, dt=0.05 hrs, 401 points
Runoff by SCS TR-20 method, UH=Delmarva, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment R1: Roof

Runoff Area=1,200 sf 100.00% Impervious Runoff Depth>3.00"
Tc=6.0 min CN=98 Runoff=0.07 cfs 0.007 af

Pond 3P: Roof Recharge System

Peak Elev=9.70' Storage=0.000 af Inflow=0.07 cfs 0.007 af
Outflow=0.04 cfs 0.007 af

Total Runoff Area = 0.028 ac Runoff Volume = 0.007 af Average Runoff Depth = 3.00"
0.00% Pervious = 0.000 ac 100.00% Impervious = 0.028 ac

Summary for Subcatchment R1: Roof

Runoff = 0.07 cfs @ 12.14 hrs, Volume= 0.007 af, Depth> 3.00"
 Routed to Pond 3P : Roof Recharge System

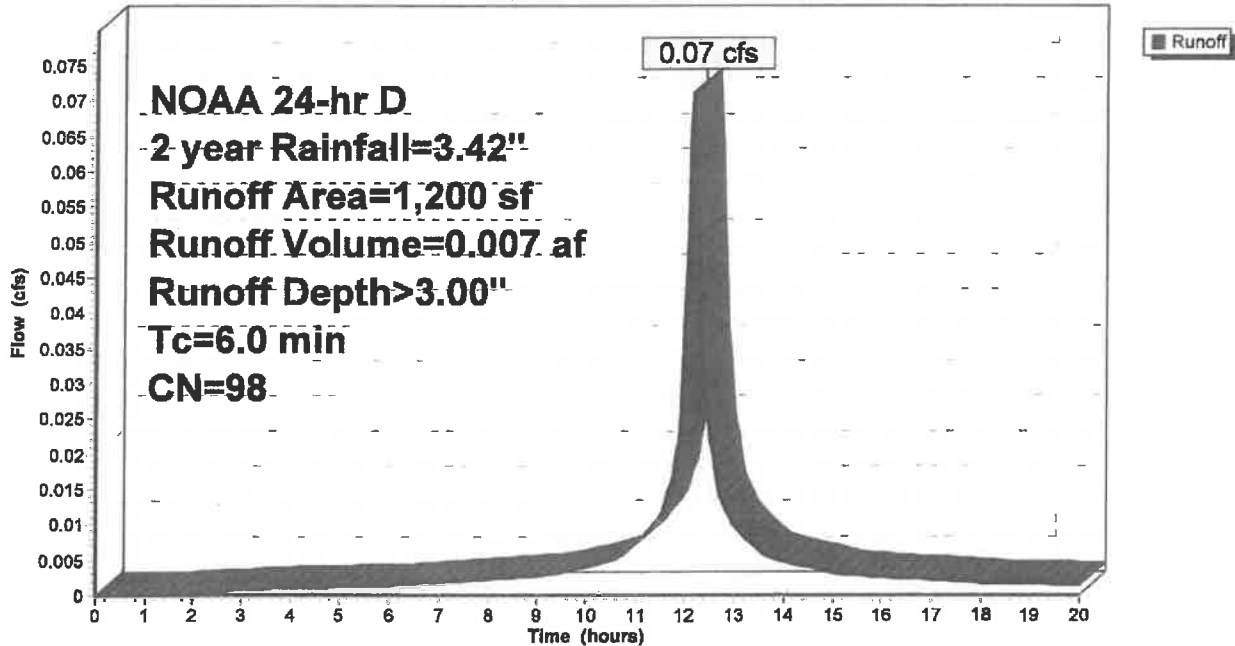
Runoff by SCS TR-20 method, UH=Delmarva, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NOAA 24-hr D 2 year Rainfall=3.42"

Area (sf)	CN	Description
* 1,200	98	Roof
1,200		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

Subcatchment R1: Roof

Hydrograph



Hydrograph for Subcatchment R1: Roof

Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)	Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)
0.00	0.00	0.00	0.00	13.25	2.60	2.37	0.01
0.25	0.01	0.00	0.00	13.50	2.65	2.42	0.01
0.50	0.02	0.00	0.00	13.75	2.70	2.47	0.01
0.75	0.03	0.00	0.00	14.00	2.74	2.51	0.00
1.00	0.04	0.00	0.00	14.25	2.78	2.55	0.00
1.25	0.05	0.00	0.00	14.50	2.82	2.59	0.00
1.50	0.06	0.00	0.00	14.75	2.85	2.62	0.00
1.75	0.07	0.00	0.00	15.00	2.88	2.65	0.00
2.00	0.08	0.01	0.00	15.25	2.90	2.67	0.00
2.25	0.09	0.01	0.00	15.50	2.93	2.70	0.00
2.50	0.10	0.02	0.00	15.75	2.95	2.72	0.00
2.75	0.12	0.02	0.00	16.00	2.98	2.74	0.00
3.00	0.13	0.03	0.00	16.25	3.00	2.77	0.00
3.25	0.14	0.03	0.00	16.50	3.02	2.79	0.00
3.50	0.15	0.04	0.00	16.75	3.04	2.81	0.00
3.75	0.17	0.05	0.00	17.00	3.06	2.83	0.00
4.00	0.18	0.06	0.00	17.25	3.08	2.85	0.00
4.25	0.19	0.06	0.00	17.50	3.10	2.86	0.00
4.50	0.21	0.07	0.00	17.75	3.11	2.88	0.00
4.75	0.22	0.08	0.00	18.00	3.13	2.90	0.00
5.00	0.23	0.09	0.00	18.25	3.14	2.91	0.00
5.25	0.25	0.10	0.00	18.50	3.16	2.93	0.00
5.50	0.26	0.12	0.00	18.75	3.17	2.94	0.00
5.75	0.28	0.13	0.00	19.00	3.19	2.95	0.00
6.00	0.29	0.14	0.00	19.25	3.20	2.97	0.00
6.25	0.31	0.15	0.00	19.50	3.21	2.98	0.00
6.50	0.32	0.16	0.00	19.75	3.23	2.99	0.00
6.75	0.34	0.18	0.00	20.00	3.24	3.01	0.00
7.00	0.36	0.19	0.00				
7.25	0.38	0.21	0.00				
7.50	0.40	0.23	0.00				
7.75	0.42	0.25	0.00				
8.00	0.44	0.27	0.00				
8.25	0.47	0.29	0.00				
8.50	0.49	0.31	0.00				
8.75	0.52	0.33	0.00				
9.00	0.54	0.36	0.00				
9.25	0.57	0.38	0.00				
9.50	0.60	0.41	0.00				
9.75	0.64	0.45	0.00				
10.00	0.68	0.48	0.00				
10.25	0.72	0.52	0.00				
10.50	0.77	0.57	0.00				
10.75	0.82	0.62	0.01				
11.00	0.89	0.68	0.01				
11.25	0.98	0.77	0.01				
11.50	1.08	0.87	0.01				
11.75	1.26	1.04	0.02				
12.00	1.64	1.42	0.04				
12.25	2.16	1.94	0.05				
12.50	2.34	2.11	0.02				
12.75	2.44	2.21	0.01				
13.00	2.53	2.30	0.01				

Summary for Pond 3P: Roof Recharge System

Inflow Area = 0.028 ac, 100.00% Impervious, Inflow Depth > 3.00" for 2 year event
 Inflow = 0.07 cfs @ 12.14 hrs, Volume= 0.007 af
 Outflow = 0.04 cfs @ 12.05 hrs, Volume= 0.007 af, Atten= 40%, Lag= 0.0 min
 Discarded = 0.04 cfs @ 12.05 hrs, Volume= 0.007 af

Routing by Stor-Ind method, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs / 2
 Peak Elev= 9.70' @ 12.30 hrs Surf.Area= 0.005 ac Storage= 0.000 af

Plug-Flow detention time= 3.0 min calculated for 0.007 af (100% of inflow)
 Center-of-Mass det. time= 1.5 min (727.5 - 726.0)

Volume	Invert	Avail.Storage	Storage Description
#1A	9.50'	0.003 af	9.84'W x 21.00'L x 2.21'H Field A 0.010 af Overall - 0.002 af Embedded = 0.009 af x 40.0% Voids
#2A	10.00'	0.001 af	ADS N-12 12" x 4 Inside #1 Inside= 12.2"W x 12.2"H => 0.81 sf x 20.00'L = 16.2 cf Outside= 14.5"W x 14.5"H => 1.05 sf x 20.00'L = 20.9 cf 4 Chambers in 4 Rows
		0.005 af	Total Available Storage

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet Devices
#1	Discarded	9.50'	9.000 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.04 cfs @ 12.05 hrs HW=9.53' (Free Discharge)

↳1=Exfiltration (Exfiltration Controls 0.04 cfs)

Pond 3P: Roof Recharge System - Chamber Wizard Field A

Chamber Model = ADS N-12 12" (ADS N-12® Pipe)
Inside= 12.2"W x 12.2"H => 0.81 sf x 20.00'L = 16.2 cf
Outside= 14.5"W x 14.5"H => 1.05 sf x 20.00'L = 20.9 cf

14.5" Wide + 12.0" Spacing = 26.5" C-C Row Spacing

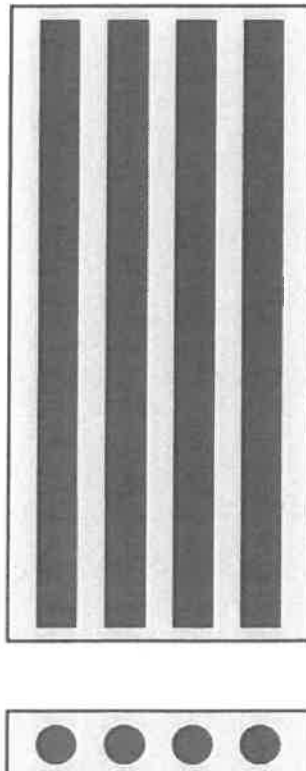
1 Chambers/Row x 20.00' Long = 20.00' Row Length +6.0" End Stone x 2 = 21.00' Base Length
4 Rows x 14.5" Wide + 12.0" Spacing x 3 + 12.0" Side Stone x 2 = 9.84' Base Width
6.0" Stone Base + 14.5" Chamber Height + 6.0" Stone Cover = 2.21' Field Height

4 Chambers x 16.2 cf = 64.8 cf Chamber Storage
4 Chambers x 20.9 cf = 83.7 cf Displacement

456.2 cf Field - 83.7 cf Chambers = 372.5 cf Stone x 40.0% Voids = 149.0 cf Stone Storage

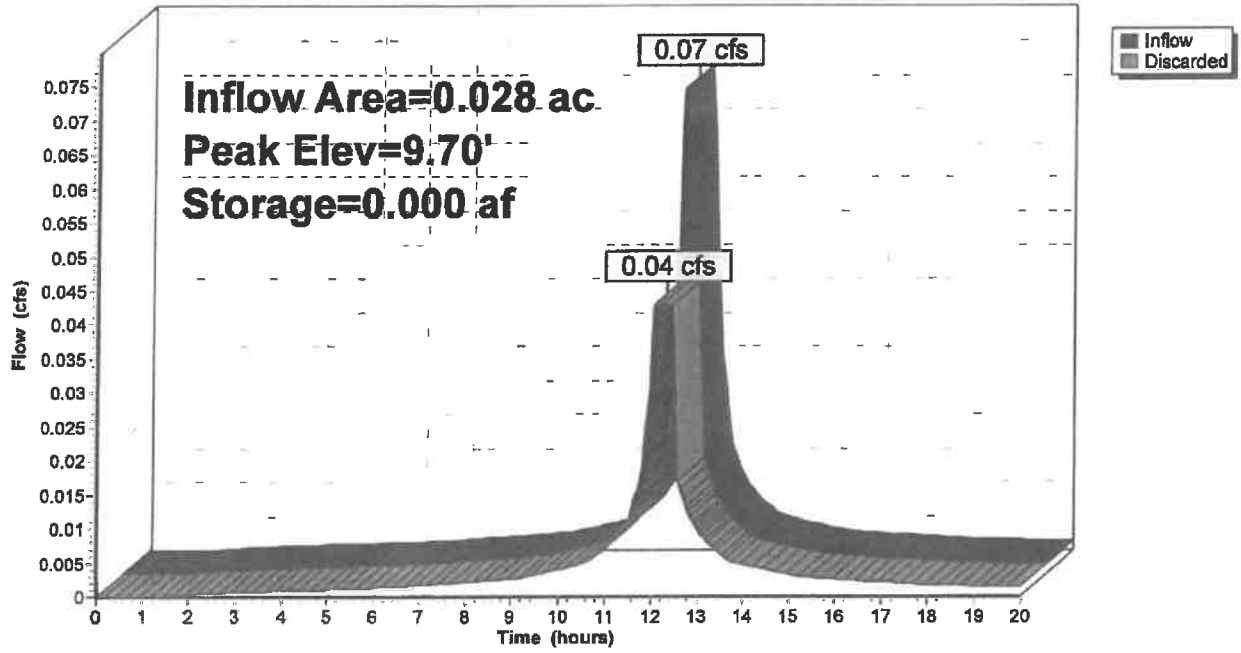
Chamber Storage + Stone Storage = 213.8 cf = 0.005 af
Overall Storage Efficiency = 46.9%
Overall System Size = 21.00' x 9.84' x 2.21'

4 Chambers
16.9 cy Field
13.8 cy Stone



Pond 3P: Roof Recharge System

Hydrograph



Hydrograph for Pond 3P: Roof Recharge System

Time (hours)	Inflow (cfs)	Storage (acre-feet)	Elevation (feet)	Discarded (cfs)
0.00	0.00	0.000	9.50	0.00
0.50	0.00	0.000	9.50	0.00
1.00	0.00	0.000	9.50	0.00
1.50	0.00	0.000	9.50	0.00
2.00	0.00	0.000	9.50	0.00
2.50	0.00	0.000	9.50	0.00
3.00	0.00	0.000	9.50	0.00
3.50	0.00	0.000	9.50	0.00
4.00	0.00	0.000	9.50	0.00
4.50	0.00	0.000	9.50	0.00
5.00	0.00	0.000	9.50	0.00
5.50	0.00	0.000	9.50	0.00
6.00	0.00	0.000	9.50	0.00
6.50	0.00	0.000	9.50	0.00
7.00	0.00	0.000	9.50	0.00
7.50	0.00	0.000	9.50	0.00
8.00	0.00	0.000	9.50	0.00
8.50	0.00	0.000	9.50	0.00
9.00	0.00	0.000	9.50	0.00
9.50	0.00	0.000	9.50	0.00
10.00	0.00	0.000	9.50	0.00
10.50	0.00	0.000	9.50	0.00
11.00	0.01	0.000	9.50	0.01
11.50	0.01	0.000	9.51	0.01
12.00	0.04	0.000	9.52	0.04
12.50	0.02	0.000	9.59	0.04
13.00	0.01	0.000	9.51	0.01
13.50	0.01	0.000	9.50	0.01
14.00	0.00	0.000	9.50	0.00
14.50	0.00	0.000	9.50	0.00
15.00	0.00	0.000	9.50	0.00
15.50	0.00	0.000	9.50	0.00
16.00	0.00	0.000	9.50	0.00
16.50	0.00	0.000	9.50	0.00
17.00	0.00	0.000	9.50	0.00
17.50	0.00	0.000	9.50	0.00
18.00	0.00	0.000	9.50	0.00
18.50	0.00	0.000	9.50	0.00
19.00	0.00	0.000	9.50	0.00
19.50	0.00	0.000	9.50	0.00
20.00	0.00	0.000	9.50	0.00

Stage-Discharge for Pond 3P: Roof Recharge System

Elevation (feet)	Discarded (cfs)	Elevation (feet)	Discarded (cfs)	Elevation (feet)	Discarded (cfs)
9.50	0.00	10.56	0.04	11.62	0.04
9.52	0.04	10.58	0.04	11.64	0.04
9.54	0.04	10.60	0.04	11.66	0.04
9.56	0.04	10.62	0.04	11.68	0.04
9.58	0.04	10.64	0.04	11.70	0.04
9.60	0.04	10.66	0.04		
9.62	0.04	10.68	0.04		
9.64	0.04	10.70	0.04		
9.66	0.04	10.72	0.04		
9.68	0.04	10.74	0.04		
9.70	0.04	10.76	0.04		
9.72	0.04	10.78	0.04		
9.74	0.04	10.80	0.04		
9.76	0.04	10.82	0.04		
9.78	0.04	10.84	0.04		
9.80	0.04	10.86	0.04		
9.82	0.04	10.88	0.04		
9.84	0.04	10.90	0.04		
9.86	0.04	10.92	0.04		
9.88	0.04	10.94	0.04		
9.90	0.04	10.96	0.04		
9.92	0.04	10.98	0.04		
9.94	0.04	11.00	0.04		
9.96	0.04	11.02	0.04		
9.98	0.04	11.04	0.04		
10.00	0.04	11.06	0.04		
10.02	0.04	11.08	0.04		
10.04	0.04	11.10	0.04		
10.06	0.04	11.12	0.04		
10.08	0.04	11.14	0.04		
10.10	0.04	11.16	0.04		
10.12	0.04	11.18	0.04		
10.14	0.04	11.20	0.04		
10.16	0.04	11.22	0.04		
10.18	0.04	11.24	0.04		
10.20	0.04	11.26	0.04		
10.22	0.04	11.28	0.04		
10.24	0.04	11.30	0.04		
10.26	0.04	11.32	0.04		
10.28	0.04	11.34	0.04		
10.30	0.04	11.36	0.04		
10.32	0.04	11.38	0.04		
10.34	0.04	11.40	0.04		
10.36	0.04	11.42	0.04		
10.38	0.04	11.44	0.04		
10.40	0.04	11.46	0.04		
10.42	0.04	11.48	0.04		
10.44	0.04	11.50	0.04		
10.46	0.04	11.52	0.04		
10.48	0.04	11.54	0.04		
10.50	0.04	11.56	0.04		
10.52	0.04	11.58	0.04		
10.54	0.04	11.60	0.04		

Stage-Area-Storage for Pond 3P: Roof Recharge System

<u>Elevation</u> (feet)	<u>Surface</u> (acres)	<u>Storage</u> (acre-feet)
9.50	0.005	0.000
9.55	0.005	0.000
9.60	0.005	0.000
9.65	0.005	0.000
9.70	0.005	0.000
9.75	0.005	0.000
9.80	0.005	0.001
9.85	0.005	0.001
9.90	0.005	0.001
9.95	0.005	0.001
10.00	0.005	0.001
10.05	0.005	0.001
10.10	0.005	0.001
10.15	0.005	0.001
10.20	0.005	0.001
10.25	0.005	0.001
10.30	0.005	0.002
10.35	0.005	0.002
10.40	0.005	0.002
10.45	0.005	0.002
10.50	0.005	0.002
10.55	0.005	0.002
10.60	0.005	0.002
10.65	0.005	0.003
10.70	0.005	0.003
10.75	0.005	0.003
10.80	0.005	0.003
10.85	0.005	0.003
10.90	0.005	0.003
10.95	0.005	0.003
11.00	0.005	0.004
11.05	0.005	0.004
11.10	0.005	0.004
11.15	0.005	0.004
11.20	0.005	0.004
11.25	0.005	0.004
11.30	0.005	0.004
11.35	0.005	0.004
11.40	0.005	0.004
11.45	0.005	0.004
11.50	0.005	0.005
11.55	0.005	0.005
11.60	0.005	0.005
11.65	0.005	0.005
11.70	0.005	0.005

Roof Recharge # 325525 Lot 25.01 JFT

NOAA 24-hr D 10 year Rainfall=5.38"

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Time span=0.00-20.00 hrs, dt=0.05 hrs, 401 points
Runoff by SCS TR-20 method, UH=Delmarva, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment R1: Roof

Runoff Area=1,200 sf 100.00% Impervious Runoff Depth>4.85"
Tc=6.0 min CN=98 Runoff=0.11 cfs 0.011 af

Pond 3P: Roof Recharge System

Peak Elev=10.22' Storage=0.001 af Inflow=0.11 cfs 0.011 af
Outflow=0.04 cfs 0.011 af

Total Runoff Area = 0.028 ac Runoff Volume = 0.011 af Average Runoff Depth = 4.85"
0.00% Pervious = 0.000 ac 100.00% Impervious = 0.028 ac

Summary for Subcatchment R1: Roof

Runoff = 0.11 cfs @ 12.14 hrs, Volume= 0.011 af, Depth> 4.85"
 Routed to Pond 3P : Roof Recharge System

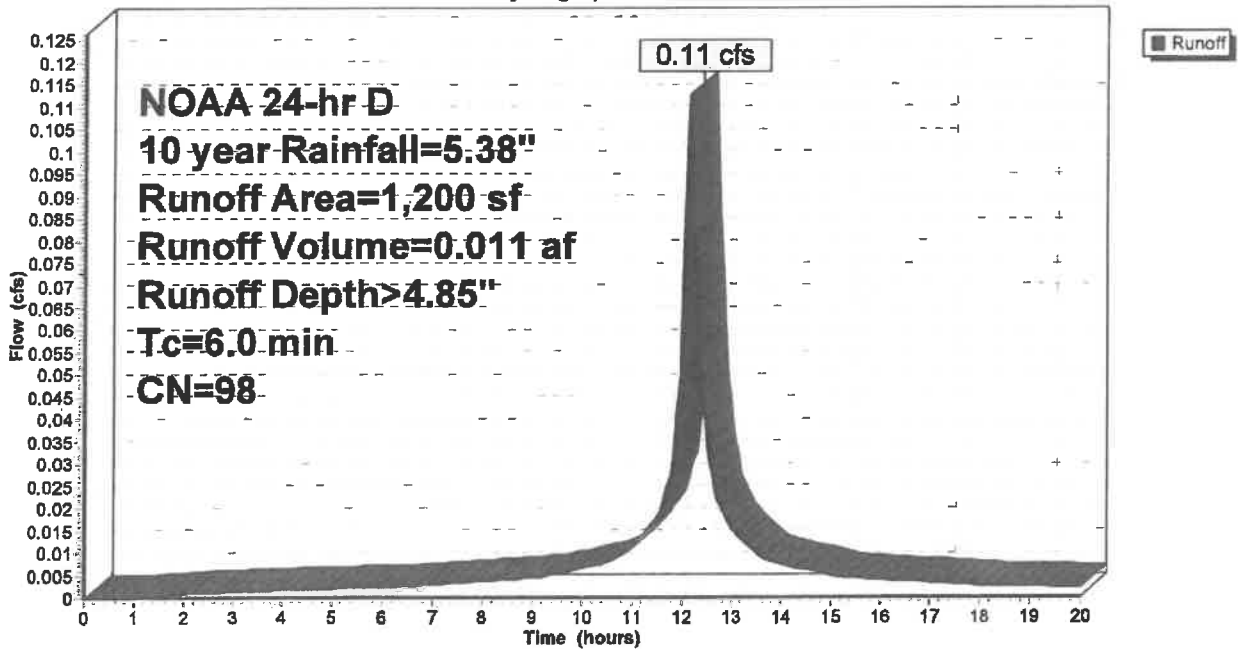
Runoff by SCS TR-20 method, UH=Delmarva, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NOAA 24-hr D 10 year Rainfall=5.38"

Area (sf)	CN	Description
* 1,200	98	Roof
1,200		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

Subcatchment R1: Roof

Hydrograph



Hydrograph for Subcatchment R1: Roof

Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)	Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)
0.00	0.00	0.00	0.00	13.25	4.09	3.85	0.01
0.25	0.01	0.00	0.00	13.50	4.18	3.94	0.01
0.50	0.03	0.00	0.00	13.75	4.25	4.01	0.01
0.75	0.05	0.00	0.00	14.00	4.31	4.08	0.01
1.00	0.06	0.00	0.00	14.25	4.37	4.14	0.01
1.25	0.08	0.01	0.00	14.50	4.43	4.19	0.01
1.50	0.09	0.01	0.00	14.75	4.48	4.25	0.01
1.75	0.11	0.02	0.00	15.00	4.53	4.29	0.01
2.00	0.13	0.03	0.00	15.25	4.57	4.33	0.00
2.25	0.15	0.04	0.00	15.50	4.61	4.37	0.00
2.50	0.17	0.05	0.00	15.75	4.65	4.41	0.00
2.75	0.18	0.06	0.00	16.00	4.68	4.45	0.00
3.00	0.20	0.07	0.00	16.25	4.72	4.48	0.00
3.25	0.22	0.09	0.00	16.50	4.75	4.51	0.00
3.50	0.24	0.10	0.00	16.75	4.78	4.55	0.00
3.75	0.26	0.11	0.00	17.00	4.81	4.58	0.00
4.00	0.28	0.13	0.00	17.25	4.84	4.61	0.00
4.25	0.30	0.15	0.00	17.50	4.87	4.63	0.00
4.50	0.32	0.16	0.00	17.75	4.90	4.66	0.00
4.75	0.35	0.18	0.00	18.00	4.92	4.68	0.00
5.00	0.37	0.20	0.00	18.25	4.94	4.71	0.00
5.25	0.39	0.22	0.00	18.50	4.97	4.73	0.00
5.50	0.41	0.24	0.00	18.75	4.99	4.75	0.00
5.75	0.44	0.26	0.00	19.00	5.01	4.78	0.00
6.00	0.46	0.28	0.00	19.25	5.03	4.80	0.00
6.25	0.48	0.30	0.00	19.50	5.06	4.82	0.00
6.50	0.51	0.33	0.00	19.75	5.08	4.84	0.00
6.75	0.54	0.35	0.00	20.00	5.10	4.86	0.00
7.00	0.57	0.38	0.00				
7.25	0.60	0.41	0.00				
7.50	0.63	0.44	0.00				
7.75	0.66	0.47	0.00				
8.00	0.70	0.50	0.00				
8.25	0.73	0.54	0.00				
8.50	0.77	0.57	0.00				
8.75	0.81	0.61	0.00				
9.00	0.85	0.65	0.00				
9.25	0.90	0.69	0.00				
9.50	0.95	0.74	0.01				
9.75	1.01	0.80	0.01				
10.00	1.07	0.86	0.01				
10.25	1.13	0.92	0.01				
10.50	1.20	0.99	0.01				
10.75	1.29	1.08	0.01				
11.00	1.40	1.18	0.01				
11.25	1.54	1.32	0.01				
11.50	1.71	1.48	0.02				
11.75	1.98	1.75	0.03				
12.00	2.58	2.35	0.06				
12.25	3.40	3.17	0.08				
12.50	3.67	3.44	0.03				
12.75	3.84	3.61	0.02				
13.00	3.98	3.75	0.02				

Summary for Pond 3P: Roof Recharge System

Inflow Area = 0.028 ac, 100.00% Impervious, Inflow Depth > 4.85" for 10 year event
 Inflow = 0.11 cfs @ 12.14 hrs, Volume= 0.011 af
 Outflow = 0.04 cfs @ 11.95 hrs, Volume= 0.011 af, Atten= 62%, Lag= 0.0 min
 Discarded = 0.04 cfs @ 11.95 hrs, Volume= 0.011 af

Routing by Stor-Ind method, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs / 2
 Peak Elev= 10.22' @ 12.43 hrs Surf.Area= 0.005 ac Storage= 0.001 af

Plug-Flow detention time= 5.9 min calculated for 0.011 af (100% of inflow)
 Center-of-Mass det. time= 5.9 min (723.4 - 717.5)

Volume	Invert	Avail.Storage	Storage Description
#1A	9.50'	0.003 af	9.84'W x 21.00'L x 2.21'H Field A 0.010 af Overall - 0.002 af Embedded = 0.009 af x 40.0% Voids
#2A	10.00'	0.001 af	ADS N-12 12" x 4 Inside #1 Inside= 12.2"W x 12.2"H => 0.81 sf x 20.00'L = 16.2 cf Outside= 14.5"W x 14.5"H => 1.05 sf x 20.00'L = 20.9 cf 4 Chambers in 4 Rows
		0.005 af	Total Available Storage

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet Devices
#1	Discarded	9.50'	9.000 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.04 cfs @ 11.95 hrs HW=9.53' (Free Discharge)
 ↳1=Exfiltration (Exfiltration Controls 0.04 cfs)

Pond 3P: Roof Recharge System - Chamber Wizard Field A

Chamber Model = ADS N-12 12" (ADS N-12® Pipe)

Inside= 12.2"W x 12.2"H => 0.81 sf x 20.00'L = 16.2 cf

Outside= 14.5"W x 14.5"H => 1.05 sf x 20.00'L = 20.9 cf

14.5" Wide + 12.0" Spacing = 26.5" C-C Row Spacing

1 Chambers/Row x 20.00' Long = 20.00' Row Length +6.0" End Stone x 2 = 21.00' Base Length

4 Rows x 14.5" Wide + 12.0" Spacing x 3 + 12.0" Side Stone x 2 = 9.84' Base Width

6.0" Stone Base + 14.5" Chamber Height + 6.0" Stone Cover = 2.21' Field Height

4 Chambers x 16.2 cf = 64.8 cf Chamber Storage

4 Chambers x 20.9 cf = 83.7 cf Displacement

456.2 cf Field - 83.7 cf Chambers = 372.5 cf Stone x 40.0% Voids = 149.0 cf Stone Storage

Chamber Storage + Stone Storage = 213.8 cf = 0.005 af

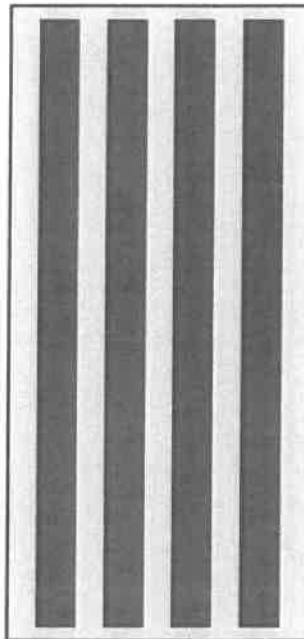
Overall Storage Efficiency = 46.9%

Overall System Size = 21.00' x 9.84' x 2.21'

4 Chambers

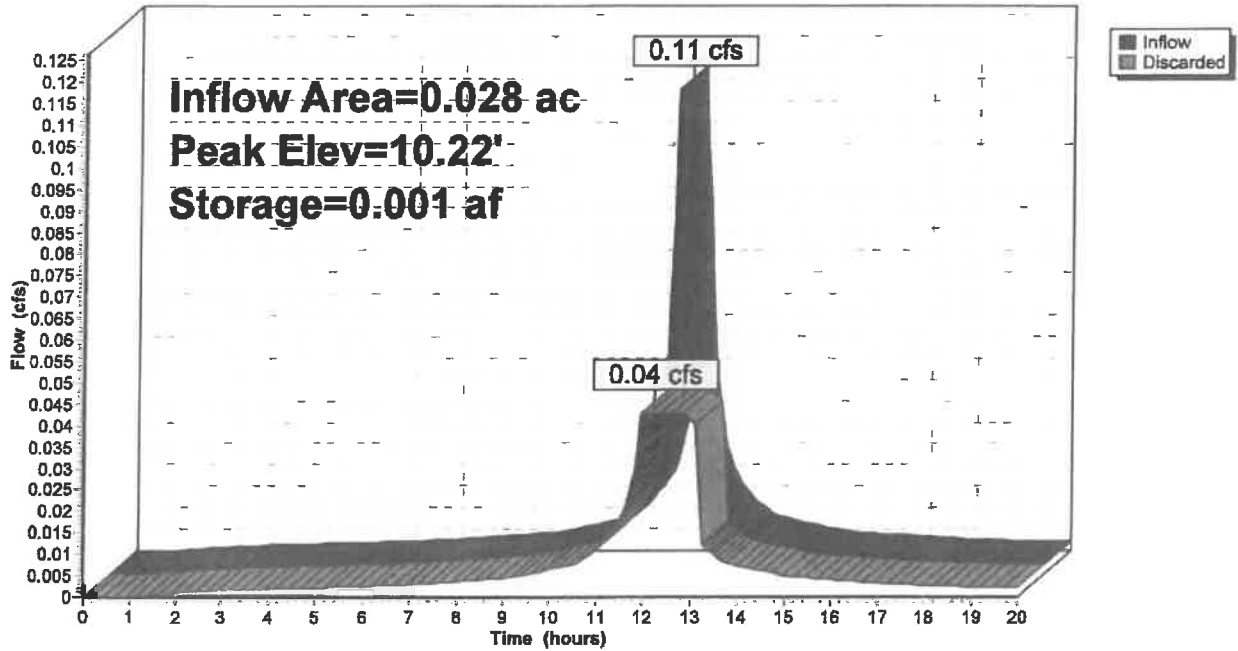
16.9 cy Field

13.8 cy Stone



Pond 3P: Roof Recharge System

Hydrograph



Roof Recharge # 325525 Lot 25.01 JFT

NOAA 24-hr D 10 year Rainfall=5.38"

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Hydrograph for Pond 3P: Roof Recharge System

Time (hours)	Inflow (cfs)	Storage (acre-feet)	Elevation (feet)	Discarded (cfs)
0.00	0.00	0.000	9.50	0.00
0.50	0.00	0.000	9.50	0.00
1.00	0.00	0.000	9.50	0.00
1.50	0.00	0.000	9.50	0.00
2.00	0.00	0.000	9.50	0.00
2.50	0.00	0.000	9.50	0.00
3.00	0.00	0.000	9.50	0.00
3.50	0.00	0.000	9.50	0.00
4.00	0.00	0.000	9.50	0.00
4.50	0.00	0.000	9.50	0.00
5.00	0.00	0.000	9.50	0.00
5.50	0.00	0.000	9.50	0.00
6.00	0.00	0.000	9.50	0.00
6.50	0.00	0.000	9.50	0.00
7.00	0.00	0.000	9.50	0.00
7.50	0.00	0.000	9.50	0.00
8.00	0.00	0.000	9.50	0.00
8.50	0.00	0.000	9.50	0.00
9.00	0.00	0.000	9.50	0.00
9.50	0.01	0.000	9.50	0.01
10.00	0.01	0.000	9.50	0.01
10.50	0.01	0.000	9.50	0.01
11.00	0.01	0.000	9.51	0.01
11.50	0.02	0.000	9.51	0.02
12.00	0.06	0.000	9.56	0.04
12.50	0.03	0.001	10.21	0.04
13.00	0.02	0.000	9.76	0.04
13.50	0.01	0.000	9.51	0.01
14.00	0.01	0.000	9.50	0.01
14.50	0.01	0.000	9.50	0.01
15.00	0.01	0.000	9.50	0.01
15.50	0.00	0.000	9.50	0.00
16.00	0.00	0.000	9.50	0.00
16.50	0.00	0.000	9.50	0.00
17.00	0.00	0.000	9.50	0.00
17.50	0.00	0.000	9.50	0.00
18.00	0.00	0.000	9.50	0.00
18.50	0.00	0.000	9.50	0.00
19.00	0.00	0.000	9.50	0.00
19.50	0.00	0.000	9.50	0.00
20.00	0.00	0.000	9.50	0.00

Roof Recharge # 325525 Lot 25.01 JFT

NOAA 24-hr D 10 year Rainfall=5.38"

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Stage-Discharge for Pond 3P: Roof Recharge System

Elevation (feet)	Discarded (cfs)	Elevation (feet)	Discarded (cfs)	Elevation (feet)	Discarded (cfs)
9.50	0.00	10.56	0.04	11.62	0.04
9.52	0.04	10.58	0.04	11.64	0.04
9.54	0.04	10.60	0.04	11.66	0.04
9.56	0.04	10.62	0.04	11.68	0.04
9.58	0.04	10.64	0.04	11.70	0.04
9.60	0.04	10.66	0.04		
9.62	0.04	10.68	0.04		
9.64	0.04	10.70	0.04		
9.66	0.04	10.72	0.04		
9.68	0.04	10.74	0.04		
9.70	0.04	10.76	0.04		
9.72	0.04	10.78	0.04		
9.74	0.04	10.80	0.04		
9.76	0.04	10.82	0.04		
9.78	0.04	10.84	0.04		
9.80	0.04	10.86	0.04		
9.82	0.04	10.88	0.04		
9.84	0.04	10.90	0.04		
9.86	0.04	10.92	0.04		
9.88	0.04	10.94	0.04		
9.90	0.04	10.96	0.04		
9.92	0.04	10.98	0.04		
9.94	0.04	11.00	0.04		
9.96	0.04	11.02	0.04		
9.98	0.04	11.04	0.04		
10.00	0.04	11.06	0.04		
10.02	0.04	11.08	0.04		
10.04	0.04	11.10	0.04		
10.06	0.04	11.12	0.04		
10.08	0.04	11.14	0.04		
10.10	0.04	11.16	0.04		
10.12	0.04	11.18	0.04		
10.14	0.04	11.20	0.04		
10.16	0.04	11.22	0.04		
10.18	0.04	11.24	0.04		
10.20	0.04	11.26	0.04		
10.22	0.04	11.28	0.04		
10.24	0.04	11.30	0.04		
10.26	0.04	11.32	0.04		
10.28	0.04	11.34	0.04		
10.30	0.04	11.36	0.04		
10.32	0.04	11.38	0.04		
10.34	0.04	11.40	0.04		
10.36	0.04	11.42	0.04		
10.38	0.04	11.44	0.04		
10.40	0.04	11.46	0.04		
10.42	0.04	11.48	0.04		
10.44	0.04	11.50	0.04		
10.46	0.04	11.52	0.04		
10.48	0.04	11.54	0.04		
10.50	0.04	11.56	0.04		
10.52	0.04	11.58	0.04		
10.54	0.04	11.60	0.04		

Roof Recharge # 325525 Lot 25.01 JFT

NOAA 24-hr D 10 year Rainfall=5.38"

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Stage-Area-Storage for Pond 3P: Roof Recharge System

<u>Elevation</u> <u>(feet)</u>	<u>Surface</u> <u>(acres)</u>	<u>Storage</u> <u>(acre-feet)</u>
9.50	0.005	0.000
9.55	0.005	0.000
9.60	0.005	0.000
9.65	0.005	0.000
9.70	0.005	0.000
9.75	0.005	0.000
9.80	0.005	0.001
9.85	0.005	0.001
9.90	0.005	0.001
9.95	0.005	0.001
10.00	0.005	0.001
10.05	0.005	0.001
10.10	0.005	0.001
10.15	0.005	0.001
10.20	0.005	0.001
10.25	0.005	0.001
10.30	0.005	0.002
10.35	0.005	0.002
10.40	0.005	0.002
10.45	0.005	0.002
10.50	0.005	0.002
10.55	0.005	0.002
10.60	0.005	0.002
10.65	0.005	0.003
10.70	0.005	0.003
10.75	0.005	0.003
10.80	0.005	0.003
10.85	0.005	0.003
10.90	0.005	0.003
10.95	0.005	0.003
11.00	0.005	0.004
11.05	0.005	0.004
11.10	0.005	0.004
11.15	0.005	0.004
11.20	0.005	0.004
11.25	0.005	0.004
11.30	0.005	0.004
11.35	0.005	0.004
11.40	0.005	0.004
11.45	0.005	0.004
11.50	0.005	0.005
11.55	0.005	0.005
11.60	0.005	0.005
11.65	0.005	0.005
11.70	0.005	0.005

Roof Recharge # 325525 Lot 25.01 JFT

NOAA 24-hr D 100 year Rainfall=9.48"

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Time span=0.00-20.00 hrs, dt=0.05 hrs, 401 points
Runoff by SCS TR-20 method, UH=Delmarva, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment R1: Roof

Runoff Area=1,200 sf 100.00% Impervious Runoff Depth=8.72"
Tc=6.0 min CN=98 Runoff=0.20 cfs 0.020 af

Pond 3P: Roof Recharge System

Peak Elev=11.40' Storage=0.004 af Inflow=0.20 cfs 0.020 af
Outflow=0.04 cfs 0.020 af

Total Runoff Area = 0.028 ac Runoff Volume = 0.020 af Average Runoff Depth = 8.72"
0.00% Pervious = 0.000 ac 100.00% Impervious = 0.028 ac

Summary for Subcatchment R1: Roof

Runoff = 0.20 cfs @ 12.14 hrs, Volume= 0.020 af, Depth> 8.72"
 Routed to Pond 3P : Roof Recharge System

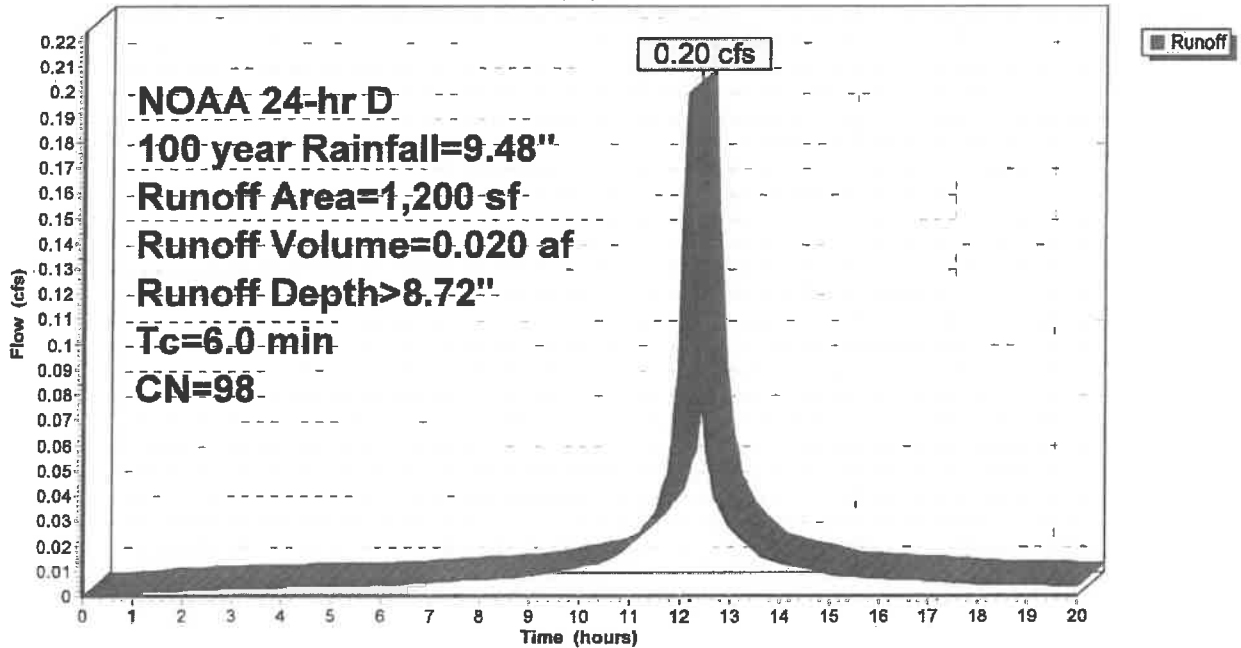
Runoff by SCS TR-20 method, UH=Delmarva, Weighted-CN, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs
 NOAA 24-hr D 100 year Rainfall=9.48"

Area (sf)	CN	Description
* 1,200	98	Roof
1,200		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

Subcatchment R1: Roof

Hydrograph



Roof Recharge # 325525 Lot 25.01 JFT

NOAA 24-hr D 100 year Rainfall=9.48"

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Hydrograph for Subcatchment R1: Roof

Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)	Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)
0.00	0.00	0.00	0.00	13.25	7.20	6.96	0.02
0.25	0.03	0.00	0.00	13.50	7.36	7.12	0.02
0.50	0.05	0.00	0.00	13.75	7.48	7.24	0.01
0.75	0.08	0.01	0.00	14.00	7.60	7.36	0.01
1.00	0.11	0.02	0.00	14.25	7.71	7.47	0.01
1.25	0.14	0.03	0.00	14.50	7.81	7.57	0.01
1.50	0.17	0.05	0.00	14.75	7.90	7.66	0.01
1.75	0.20	0.07	0.00	15.00	7.98	7.74	0.01
2.00	0.23	0.09	0.00	15.25	8.05	7.81	0.01
2.25	0.26	0.11	0.00	15.50	8.12	7.88	0.01
2.50	0.29	0.14	0.00	15.75	8.19	7.95	0.01
2.75	0.32	0.16	0.00	16.00	8.25	8.01	0.01
3.00	0.36	0.19	0.00	16.25	8.31	8.07	0.01
3.25	0.39	0.22	0.00	16.50	8.37	8.13	0.01
3.50	0.43	0.25	0.00	16.75	8.43	8.19	0.01
3.75	0.46	0.28	0.00	17.00	8.48	8.24	0.01
4.00	0.50	0.32	0.00	17.25	8.53	8.29	0.01
4.25	0.53	0.35	0.00	17.50	8.58	8.34	0.01
4.50	0.57	0.38	0.00	17.75	8.63	8.39	0.01
4.75	0.61	0.42	0.00	18.00	8.67	8.43	0.00
5.00	0.65	0.45	0.00	18.25	8.71	8.47	0.00
5.25	0.69	0.49	0.00	18.50	8.75	8.51	0.00
5.50	0.73	0.53	0.00	18.75	8.79	8.55	0.00
5.75	0.77	0.57	0.00	19.00	8.83	8.59	0.00
6.00	0.81	0.61	0.00	19.25	8.87	8.63	0.00
6.25	0.85	0.65	0.00	19.50	8.91	8.67	0.00
6.50	0.90	0.69	0.00	19.75	8.95	8.71	0.00
6.75	0.95	0.74	0.01	20.00	8.98	8.74	0.00
7.00	1.00	0.79	0.01				
7.25	1.05	0.84	0.01				
7.50	1.11	0.90	0.01				
7.75	1.17	0.95	0.01				
8.00	1.23	1.02	0.01				
8.25	1.29	1.08	0.01				
8.50	1.36	1.14	0.01				
8.75	1.43	1.21	0.01				
9.00	1.50	1.28	0.01				
9.25	1.58	1.36	0.01				
9.50	1.67	1.45	0.01				
9.75	1.77	1.55	0.01				
10.00	1.88	1.65	0.01				
10.25	2.00	1.77	0.01				
10.50	2.12	1.90	0.01				
10.75	2.28	2.05	0.02				
11.00	2.46	2.24	0.02				
11.25	2.71	2.48	0.03				
11.50	3.01	2.77	0.03				
11.75	3.48	3.25	0.05				
12.00	4.54	4.31	0.11				
12.25	6.00	5.76	0.14				
12.50	6.47	6.24	0.06				
12.75	6.77	6.54	0.04				
13.00	7.02	6.78	0.03				

Summary for Pond 3P: Roof Recharge System

Inflow Area = 0.028 ac, 100.00% Impervious, Inflow Depth > 8.72" for 100 year event
 Inflow = 0.20 cfs @ 12.14 hrs, Volume= 0.020 af
 Outflow = 0.04 cfs @ 11.70 hrs, Volume= 0.020 af, Atten= 78%, Lag= 0.0 min
 Discarded = 0.04 cfs @ 11.70 hrs, Volume= 0.020 af

Routing by Stor-Ind method, Time Span= 0.00-20.00 hrs, dt= 0.05 hrs / 2
 Peak Elev= 11.40' @ 12.65 hrs Surf.Area= 0.005 ac Storage= 0.004 af

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 22.9 min (732.5 - 709.6)

Volume	Invert	Avail.Storage	Storage Description
#1A	9.50'	0.003 af	9.84'W x 21.00'L x 2.21'H Field A 0.010 af Overall - 0.002 af Embedded = 0.009 af x 40.0% Voids
#2A	10.00'	0.001 af	ADS N-12 12" x 4 Inside #1 Inside= 12.2"W x 12.2"H => 0.81 sf x 20.00'L = 16.2 cf Outside= 14.5"W x 14.5"H => 1.05 sf x 20.00'L = 20.9 cf 4 Chambers in 4 Rows
		0.005 af	Total Available Storage

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet Devices
#1	Discarded	9.50'	9.000 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.04 cfs @ 11.70 hrs HW=9.52' (Free Discharge)
 ↑1=Exfiltration (Exfiltration Controls 0.04 cfs)

Pond 3P: Roof Recharge System - Chamber Wizard Field A

Chamber Model = ADS N-12 12" (ADS N-12® Pipe)

Inside= 12.2"W x 12.2"H => 0.81 sf x 20.00'L = 16.2 cf

Outside= 14.5"W x 14.5"H => 1.05 sf x 20.00'L = 20.9 cf

14.5" Wide + 12.0" Spacing = 26.5" C-C Row Spacing

1 Chambers/Row x 20.00' Long = 20.00' Row Length +6.0" End Stone x 2 = 21.00' Base Length

4 Rows x 14.5" Wide + 12.0" Spacing x 3 + 12.0" Side Stone x 2 = 9.84' Base Width

6.0" Stone Base + 14.5" Chamber Height + 6.0" Stone Cover = 2.21' Field Height

4 Chambers x 16.2 cf = 64.8 cf Chamber Storage

4 Chambers x 20.9 cf = 83.7 cf Displacement

456.2 cf Field - 83.7 cf Chambers = 372.5 cf Stone x 40.0% Voids = 149.0 cf Stone Storage

Chamber Storage + Stone Storage = 213.8 cf = 0.005 af

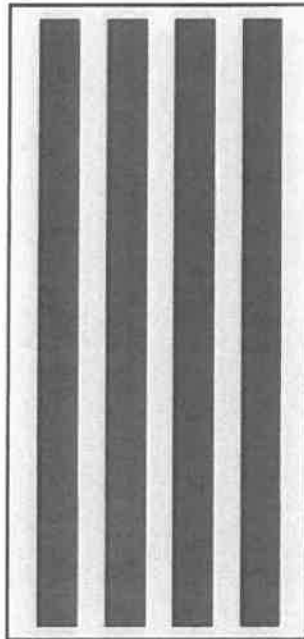
Overall Storage Efficiency = 46.9%

Overall System Size = 21.00' x 9.84' x 2.21'

4 Chambers

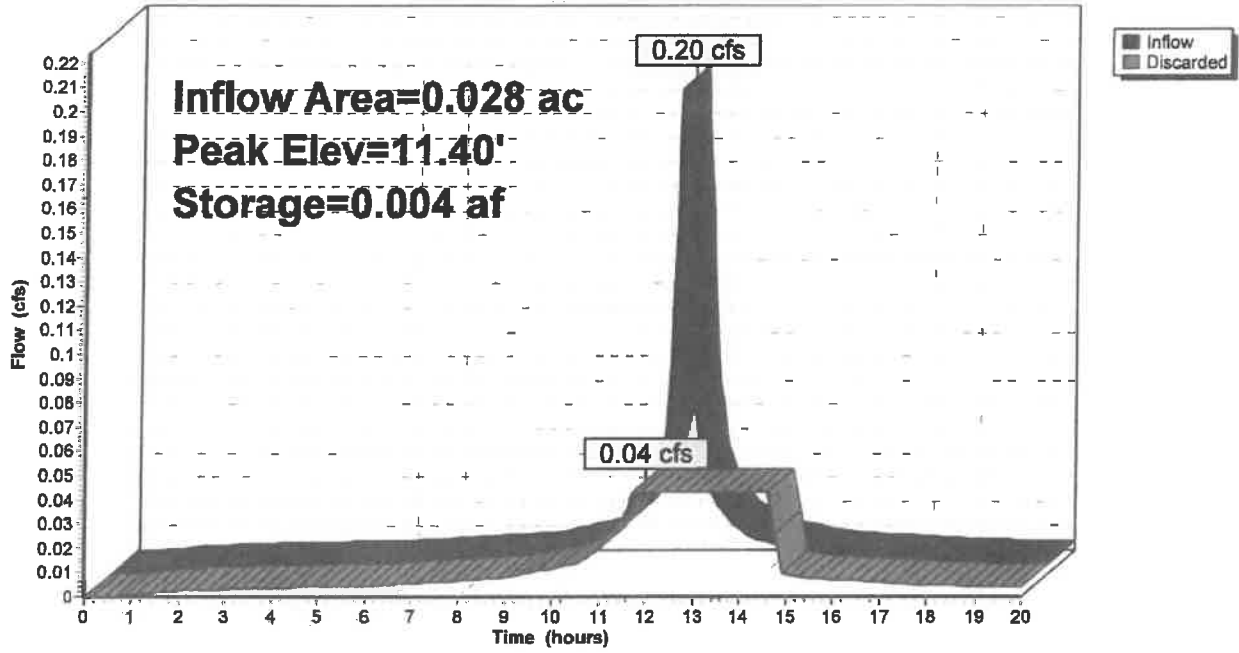
16.9 cy Field

13.8 cy Stone



Pond 3P: Roof Recharge System

Hydrograph



Hydrograph for Pond 3P: Roof Recharge System

Time (hours)	Inflow (cfs)	Storage (acre-feet)	Elevation (feet)	Discarded (cfs)
0.00	0.00	0.000	9.50	0.00
0.50	0.00	0.000	9.50	0.00
1.00	0.00	0.000	9.50	0.00
1.50	0.00	0.000	9.50	0.00
2.00	0.00	0.000	9.50	0.00
2.50	0.00	0.000	9.50	0.00
3.00	0.00	0.000	9.50	0.00
3.50	0.00	0.000	9.50	0.00
4.00	0.00	0.000	9.50	0.00
4.50	0.00	0.000	9.50	0.00
5.00	0.00	0.000	9.50	0.00
5.50	0.00	0.000	9.50	0.00
6.00	0.00	0.000	9.50	0.00
6.50	0.00	0.000	9.50	0.00
7.00	0.01	0.000	9.50	0.01
7.50	0.01	0.000	9.50	0.01
8.00	0.01	0.000	9.50	0.01
8.50	0.01	0.000	9.50	0.01
9.00	0.01	0.000	9.50	0.01
9.50	0.01	0.000	9.50	0.01
10.00	0.01	0.000	9.51	0.01
10.50	0.01	0.000	9.51	0.01
11.00	0.02	0.000	9.51	0.02
11.50	0.03	0.000	9.52	0.03
12.00	0.11	0.001	9.85	0.04
12.50	0.06	0.004	11.35	0.04
13.00	0.03	0.004	11.26	0.04
13.50	0.02	0.003	10.86	0.04
14.00	0.01	0.002	10.46	0.04
14.50	0.01	0.001	9.89	0.04
15.00	0.01	0.000	9.50	0.01
15.50	0.01	0.000	9.50	0.01
16.00	0.01	0.000	9.50	0.01
16.50	0.01	0.000	9.50	0.01
17.00	0.01	0.000	9.50	0.01
17.50	0.01	0.000	9.50	0.01
18.00	0.00	0.000	9.50	0.00
18.50	0.00	0.000	9.50	0.00
19.00	0.00	0.000	9.50	0.00
19.50	0.00	0.000	9.50	0.00
20.00	0.00	0.000	9.50	0.00

Roof Recharge # 325525 Lot 25.01 JFT

NOAA 24-hr D 100 year Rainfall=9.48"

Prepared by Professional Design Services

Printed 11/20/2025

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Stage-Discharge for Pond 3P: Roof Recharge System

Elevation (feet)	Discarded (cfs)	Elevation (feet)	Discarded (cfs)	Elevation (feet)	Discarded (cfs)
9.50	0.00	10.56	0.04	11.62	0.04
9.52	0.04	10.58	0.04	11.64	0.04
9.54	0.04	10.60	0.04	11.66	0.04
9.56	0.04	10.62	0.04	11.68	0.04
9.58	0.04	10.64	0.04	11.70	0.04
9.60	0.04	10.66	0.04		
9.62	0.04	10.68	0.04		
9.64	0.04	10.70	0.04		
9.66	0.04	10.72	0.04		
9.68	0.04	10.74	0.04		
9.70	0.04	10.76	0.04		
9.72	0.04	10.78	0.04		
9.74	0.04	10.80	0.04		
9.76	0.04	10.82	0.04		
9.78	0.04	10.84	0.04		
9.80	0.04	10.86	0.04		
9.82	0.04	10.88	0.04		
9.84	0.04	10.90	0.04		
9.86	0.04	10.92	0.04		
9.88	0.04	10.94	0.04		
9.90	0.04	10.96	0.04		
9.92	0.04	10.98	0.04		
9.94	0.04	11.00	0.04		
9.96	0.04	11.02	0.04		
9.98	0.04	11.04	0.04		
10.00	0.04	11.06	0.04		
10.02	0.04	11.08	0.04		
10.04	0.04	11.10	0.04		
10.06	0.04	11.12	0.04		
10.08	0.04	11.14	0.04		
10.10	0.04	11.16	0.04		
10.12	0.04	11.18	0.04		
10.14	0.04	11.20	0.04		
10.16	0.04	11.22	0.04		
10.18	0.04	11.24	0.04		
10.20	0.04	11.26	0.04		
10.22	0.04	11.28	0.04		
10.24	0.04	11.30	0.04		
10.26	0.04	11.32	0.04		
10.28	0.04	11.34	0.04		
10.30	0.04	11.36	0.04		
10.32	0.04	11.38	0.04		
10.34	0.04	11.40	0.04		
10.36	0.04	11.42	0.04		
10.38	0.04	11.44	0.04		
10.40	0.04	11.46	0.04		
10.42	0.04	11.48	0.04		
10.44	0.04	11.50	0.04		
10.46	0.04	11.52	0.04		
10.48	0.04	11.54	0.04		
10.50	0.04	11.56	0.04		
10.52	0.04	11.58	0.04		
10.54	0.04	11.60	0.04		

Stage-Area-Storage for Pond 3P: Roof Recharge System

<u>Elevation</u> <u>(feet)</u>	<u>Surface</u> <u>(acres)</u>	<u>Storage</u> <u>(acre-feet)</u>
9.50	0.005	0.000
9.55	0.005	0.000
9.60	0.005	0.000
9.65	0.005	0.000
9.70	0.005	0.000
9.75	0.005	0.000
9.80	0.005	0.001
9.85	0.005	0.001
9.90	0.005	0.001
9.95	0.005	0.001
10.00	0.005	0.001
10.05	0.005	0.001
10.10	0.005	0.001
10.15	0.005	0.001
10.20	0.005	0.001
10.25	0.005	0.001
10.30	0.005	0.002
10.35	0.005	0.002
10.40	0.005	0.002
10.45	0.005	0.002
10.50	0.005	0.002
10.55	0.005	0.002
10.60	0.005	0.002
10.65	0.005	0.003
10.70	0.005	0.003
10.75	0.005	0.003
10.80	0.005	0.003
10.85	0.005	0.003
10.90	0.005	0.003
10.95	0.005	0.003
11.00	0.005	0.004
11.05	0.005	0.004
11.10	0.005	0.004
11.15	0.005	0.004
11.20	0.005	0.004
11.25	0.005	0.004
11.30	0.005	0.004
11.35	0.005	0.004
11.40	0.005	0.004
11.45	0.005	0.004
11.50	0.005	0.005
11.55	0.005	0.005
11.60	0.005	0.005
11.65	0.005	0.005
11.70	0.005	0.005



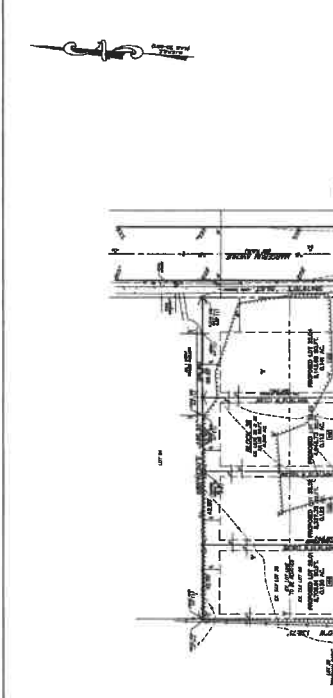
LEGEND

1. 1" = 100' SCALE
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PDS
 PROFESSIONAL DESIGN SERVICES, L.L.C.
 10000 W. BAYVIEW BLVD., SUITE 100
 JACKSONVILLE, FLORIDA 32217
 TEL: 904.455.1234
 FAX: 904.455.1235
 WWW.PDSDESIGN.COM
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 12345
 EXPIRES 12/31/2024
 DESIGNER: [Signature]
 DATE: 10/26/2024

SECTION 31.1
 STANDARD SPECIFICATIONS FOR
 CONSTRUCTION OF
 PUBLIC WORKS
 SECTION 31.1
 TAX BLOCK 35
 TAX LOTS 33 & 36
 DIVISION OF LAND CONSTRUCTION
 COUNTY OF JACKSONVILLE
 CITY OF JACKSONVILLE



NO.	DESCRIPTION	AMOUNT	TOTAL
1	CONCRETE DRIVEWAY	100.00	100.00
2	ASPHALT DRIVEWAY	200.00	300.00
3	CONCRETE SIDEWALK	150.00	450.00
4	ASPHALT SIDEWALK	300.00	750.00
5	CONCRETE CURB	50.00	800.00
6	ASPHALT CURB	100.00	900.00
7	CONCRETE UTILITY	200.00	1100.00
8	ASPHALT UTILITY	400.00	1500.00
9	CONCRETE DRIVEWAY	100.00	1600.00
10	ASPHALT DRIVEWAY	200.00	1800.00
11	CONCRETE SIDEWALK	150.00	1950.00
12	ASPHALT SIDEWALK	300.00	2250.00
13	CONCRETE CURB	50.00	2300.00
14	ASPHALT CURB	100.00	2400.00
15	CONCRETE UTILITY	200.00	2600.00
16	ASPHALT UTILITY	400.00	3000.00
17	CONCRETE DRIVEWAY	100.00	3100.00
18	ASPHALT DRIVEWAY	200.00	3300.00
19	CONCRETE SIDEWALK	150.00	3450.00
20	ASPHALT SIDEWALK	300.00	3750.00
21	CONCRETE CURB	50.00	3800.00
22	ASPHALT CURB	100.00	3900.00
23	CONCRETE UTILITY	200.00	4100.00
24	ASPHALT UTILITY	400.00	4500.00
25	CONCRETE DRIVEWAY	100.00	4600.00
26	ASPHALT DRIVEWAY	200.00	4800.00
27	CONCRETE SIDEWALK	150.00	4950.00
28	ASPHALT SIDEWALK	300.00	5250.00
29	CONCRETE CURB	50.00	5300.00
30	ASPHALT CURB	100.00	5400.00
31	CONCRETE UTILITY	200.00	5600.00
32	ASPHALT UTILITY	400.00	6000.00
33	CONCRETE DRIVEWAY	100.00	6100.00
34	ASPHALT DRIVEWAY	200.00	6300.00
35	CONCRETE SIDEWALK	150.00	6450.00
36	ASPHALT SIDEWALK	300.00	6750.00
37	CONCRETE CURB	50.00	6800.00
38	ASPHALT CURB	100.00	6900.00
39	CONCRETE UTILITY	200.00	7100.00
40	ASPHALT UTILITY	400.00	7500.00
41	CONCRETE DRIVEWAY	100.00	7600.00
42	ASPHALT DRIVEWAY	200.00	7800.00
43	CONCRETE SIDEWALK	150.00	7950.00
44	ASPHALT SIDEWALK	300.00	8250.00
45	CONCRETE CURB	50.00	8300.00
46	ASPHALT CURB	100.00	8400.00
47	CONCRETE UTILITY	200.00	8600.00
48	ASPHALT UTILITY	400.00	9000.00
49	CONCRETE DRIVEWAY	100.00	9100.00
50	ASPHALT DRIVEWAY	200.00	9300.00
51	CONCRETE SIDEWALK	150.00	9450.00
52	ASPHALT SIDEWALK	300.00	9750.00
53	CONCRETE CURB	50.00	9800.00
54	ASPHALT CURB	100.00	9900.00
55	CONCRETE UTILITY	200.00	10100.00
56	ASPHALT UTILITY	400.00	10500.00
57	CONCRETE DRIVEWAY	100.00	10600.00
58	ASPHALT DRIVEWAY	200.00	10800.00
59	CONCRETE SIDEWALK	150.00	10950.00
60	ASPHALT SIDEWALK	300.00	11250.00
61	CONCRETE CURB	50.00	11300.00
62	ASPHALT CURB	100.00	11400.00
63	CONCRETE UTILITY	200.00	11600.00
64	ASPHALT UTILITY	400.00	12000.00
65	CONCRETE DRIVEWAY	100.00	12100.00
66	ASPHALT DRIVEWAY	200.00	12300.00
67	CONCRETE SIDEWALK	150.00	12450.00
68	ASPHALT SIDEWALK	300.00	12750.00
69	CONCRETE CURB	50.00	12800.00
70	ASPHALT CURB	100.00	12900.00
71	CONCRETE UTILITY	200.00	13100.00
72	ASPHALT UTILITY	400.00	13500.00
73	CONCRETE DRIVEWAY	100.00	13600.00
74	ASPHALT DRIVEWAY	200.00	13800.00
75	CONCRETE SIDEWALK	150.00	13950.00
76	ASPHALT SIDEWALK	300.00	14250.00
77	CONCRETE CURB	50.00	14300.00
78	ASPHALT CURB	100.00	14400.00
79	CONCRETE UTILITY	200.00	14600.00
80	ASPHALT UTILITY	400.00	15000.00
81	CONCRETE DRIVEWAY	100.00	15100.00
82	ASPHALT DRIVEWAY	200.00	15300.00
83	CONCRETE SIDEWALK	150.00	15450.00
84	ASPHALT SIDEWALK	300.00	15750.00
85	CONCRETE CURB	50.00	15800.00
86	ASPHALT CURB	100.00	15900.00
87	CONCRETE UTILITY	200.00	16100.00
88	ASPHALT UTILITY	400.00	16500.00
89	CONCRETE DRIVEWAY	100.00	16600.00
90	ASPHALT DRIVEWAY	200.00	16800.00
91	CONCRETE SIDEWALK	150.00	16950.00
92	ASPHALT SIDEWALK	300.00	17250.00
93	CONCRETE CURB	50.00	17300.00
94	ASPHALT CURB	100.00	17400.00
95	CONCRETE UTILITY	200.00	17600.00
96	ASPHALT UTILITY	400.00	18000.00
97	CONCRETE DRIVEWAY	100.00	18100.00
98	ASPHALT DRIVEWAY	200.00	18300.00
99	CONCRETE SIDEWALK	150.00	18450.00
100	ASPHALT SIDEWALK	300.00	18750.00

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, SECTION 31.1, LATEST EDITION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF JACKSONVILLE AND THE COUNTY OF JACKSONVILLE.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL TREES AND LANDSCAPE.
7. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY RECORDS AND AS-BUILT DRAWINGS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND STRUCTURES.
9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL TREES AND LANDSCAPE.



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8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND STRUCTURES.
9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL TREES AND LANDSCAPE.



EXISTING

1. EXISTING LOT LINES

2. EXISTING BUILDINGS

3. EXISTING DRIVEWAYS

4. EXISTING UTILITIES

5. EXISTING LANDSCAPE

6. EXISTING SURFACE

7. EXISTING ELEVATIONS

8. EXISTING SETBACKS

9. EXISTING ZONING

10. EXISTING RECORDS

PROPOSED

1. PROPOSED LOT LINES

2. PROPOSED BUILDINGS

3. PROPOSED DRIVEWAYS

4. PROPOSED UTILITIES

5. PROPOSED LANDSCAPE

6. PROPOSED SURFACE

7. PROPOSED ELEVATIONS

8. PROPOSED SETBACKS

9. PROPOSED ZONING

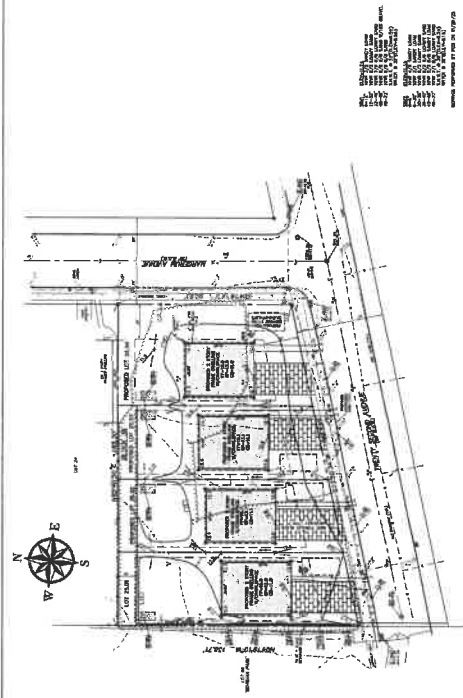
10. PROPOSED RECORDS

PDS
 PROFESSIONAL DESIGN SERVICES, LLC
 11111 W. 11TH AVENUE, SUITE 100
 DENVER, CO 80202
 (303) 751-1111
 WWW.PDS-LLC.COM

DATE SUBMITTED: 08/14/2014
PROJECT: GRANDVIEW RESIDENTIAL DEVELOPMENT
CLIENT: GRANDVIEW RESIDENTIAL DEVELOPMENT, LLC
DESIGNER: PDS

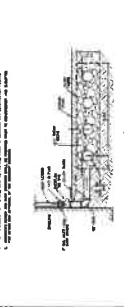
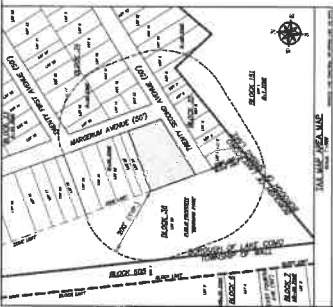
OVERALL DEVELOPMENT PLAN
 FOR
TAX BLOCK 36
TAX LOTS 25 & 26
 DIVISION OF LAND CONSTRUCTION
 HENRY COUNTY, MISSOURI

DATE: 08/14/2014
 SHEET NO. 1 OF 1



GENERAL NOTES:

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVEWAY UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE UTILITY UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE LANDSCAPE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE SURFACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ELEVATION UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE SETBACK UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ZONING UNLESS OTHERWISE NOTED.
11. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE RECORDS UNLESS OTHERWISE NOTED.



FRONT ELEVATION
 1. FRONT PORCH
 2. FRONT DOOR
 3. FRONT WINDOWS

REAR ELEVATION
 1. REAR PORCH
 2. REAR DOOR
 3. REAR WINDOWS

SIDE ELEVATION
 1. SIDE PORCH
 2. SIDE DOOR
 3. SIDE WINDOWS

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVEWAY UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE UTILITY UNLESS OTHERWISE NOTED.

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9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE SETBACK UNLESS OTHERWISE NOTED.

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