

BOROUGH OF LAKE COMO
1740 MAIN STREET
LAKE COMO, NJ 07719

PLANNING BOARD AGENDA

AUGUST 8, 2022
REGULAR MEETING

7:00 PM
LAKE COMO

I. CALL TO ORDER

II. SUNSHINE LAW:

THE NOTICE REQUIREMENTS OF R.S. 10:4-18 OPEN PUBLIC MEETINGS ACT HAVE BEEN SATISFIED BY THE PUBLICATION OF THE REQUIRED ADVERTISE-
MENT IN THE COAST STAR ON FEBRUARY 3, 2022, AND BY POSTING IT ON THE
BULLETIN BOARD IN BOROUGH HALL. A COPY OF SAID NOTICE HAS BEEN FILED
WITH THE BOROUGH CLERK AND SENT TO THE COAST STAR. NOTICE OF THE IN-
PERSON MEETING WILL ALSO BE POSTED ON OUR BOROUGH WEBSITE. ALL
MEETINGS ARE OPEN TO THE PUBLIC.

** FLAG SALUTE **

III. ROLL CALL

IV. COMMUNICATION

MONMOUTH COUNTY FARMLAND
PRESERVATION PLAN 2022

PUBLIC NOTICE FOR HEARING
ON AUGUST 15, 2022~JOANN DENTON

V. INFORMAL APPLICATION

D'AMBROSIA, NICHOLAS
621 REDMOND AVENUE
BLK - LOT -

VI. PLANNING & ZONING DISCUSSIONS

GRADING PLAN (SEE ATTACHED ORDINANCES)

REDEVELOPMENT COMMITTEE JOE CAVALUZZI & ALAN P. HILLA
(WILL UPDATE AS NEEDED)

VII. FUTURE MEETING DISCUSSIONS

PLANNING BOARD APPLICATION AND ESCROW FEES, STONES IN DRIVEWAYS

VIII. MINUTES TO BE APPROVED

MINUTES TO BE APPROVED AS TYPEWRITTEN REVIEWED AND
E-MAILED (PACKET TO FOLLOW).

IX. MOTION TO ADJOURN

THE NEXT REGULAR MEETING OF THE LAKE COMO PLANNING BOARD WILL
BE HELD IN PERSON ON MONDAY, SEPTEMBER 12, 2022, AT 7:00 PM IN THE
MEETING ROOM. ALL MEETINGS ARE OPEN TO THE PUBLIC.

MONMOUTH COUNTY PLANNING BOARD

FREEHOLD · NEW JERSEY

JAMES GIANNELL
Chairman



JOSEPH BARRIS, PP, AICP, CFM
Director of Planning

July 18, 2022

PUBLIC NOTICE MONMOUTH COUNTY PLANNING BOARD

Pursuant to N.J.S.A. 40:27-4, the Monmouth County Planning Board will hold a public hearing to consider adoption of the *Monmouth County Farmland Preservation Plan 2022* (the "Farmland Plan"), as an element of the Monmouth County Master Plan, on Monday, August 15, 2022 at 2:00 PM, or at such time thereafter as the Board shall adjourn in the Monmouth County Planning Board Conference Room, Hall of Records Annex, 2nd Floor, 1 East Main Street, Freehold, New Jersey, 07728. Participation in the meeting is also available via telephone or WebEx Conference.

For call in: Dial 1-408-418-9388
When prompted, use access code: 2338 746 9409

For web conference: <https://bit.ly/Aug15MCPB>

Meeting number: 2338 746 9409
Password: planning

Copies of the *Monmouth County Farmland Preservation Plan: July 2022 Draft* are available for inspection and/or receipt at the Monmouth County Planning Board office during regular business hours at Hall of Records Annex, 2nd Floor, 1 East Main Street, Freehold, New Jersey 07728 and online at <https://bit.ly/MCFarmlandPlan22>. A copy of this notice was sent by certified mail return receipt requested to the Municipal Clerk and Planning Board Secretary of each municipality in Monmouth County.

Written or electronic comments related to the Farmland Plan will be accepted through Friday, August 12, 2022. Mail or deliver comments to JoAnn Denton, Secretary to the Board, Monmouth County Planning Board, Hall of Records Annex, 2nd Floor, 1 East Main Street, Freehold, New Jersey, 07728 or email them to planning@co.monmouth.nj.us.

JoAnn Denton
Secretary to the Board

Clk# 505 \$ 70.00 Rec'd by PHK Date 6-15-92 Permit # 22-44

* A NON-REFUNDABLE \$70.00 FEE MUST BE SUBMITTED WITH THIS APPLICATION*

Borough of Lake Como

Zoning Application for Residential and Commercial Properties

ZONING

1. Address of Property: 621 Redmond Ave
Block: 12 Lot: 13 Zone: R40
2. Property Designation: Single Family Multi Family Commercial
3. Applicant's Name*: Katie D'Ambrosia
Address: 621 Redmond Ave
Phone Number: 732-312-6830
*Applicant is: Owner Contractor Other
(If other, please describe) _____
4. Owner's Name: Katie D'Ambrosia
Address: 621 Redmond Ave
Phone Number: 732-312-6830
5. Type of Proposal: (please check)

<input type="checkbox"/> New Home	<input checked="" type="checkbox"/> Alteration to Existing Home: 1 - 1 1/2 Story	<input type="checkbox"/> 2 - 2 1/2 Story
Pool: Above Ground <input type="checkbox"/>	In-Ground <input type="checkbox"/>	
Shed <input type="checkbox"/>	Fence <input type="checkbox"/>	Deck <input type="checkbox"/> Other *If other, please describe: _____
Water Line: Existing <input checked="" type="checkbox"/>	New <input type="checkbox"/>	Upgraded <input type="checkbox"/>
Sewer Line: Existing <input checked="" type="checkbox"/>	New <input type="checkbox"/>	Upgraded <input type="checkbox"/>

Dimension of New Building/Addition: 44' 1/2 x 28' 8 1/2 Height of New Building/Addition: 27' 5"
Area of New Building/Addition: 1311 sq. ft. Number and Types of Rooms: _____
3 bedroom 1 kitchen 3 bathroom

* If multiple additions are being applied for, itemize the additions and provide all pertinent information for each addition as requested above. * If addition is a pool, please indicate type and height of fencing.

Additional Information: _____

* SEE FULL SIZE MAP IN DRAWER

6. ***** Must Submit Two (2) Copies of Plot Plan/Survey Indicating Proposed Structures with Dimensions and Setbacks from Property Lines *****

7. Applicant certifies that all statements and information made and provided as part of this application are true to the best of their knowledge, information and belief. Applicant further states that all pertinent municipal ordinances, and all conditions, regulations and requirements of site plan approvals, variances, and other permits granted with respect to said property shall be complied with.


Signature of Applicant

6/13/2022
Date

Office Use Only

Zoning Reviewer: "SEE ATTACHED" Date: _____

Application Complete: Yes _____ No _____

Approved: _____ Rejected: _____

Planning/Variance Board action needed: Yes _____ No _____

Proposed Work Needs Construction Permits: Yes _____ No _____

Mercantile License Needed? Yes _____ No _____

Notes:

- 6. *** Must Submit Two (2) Copies of Plot Plan/Survey Indicating Proposed Structures with Dimensions and Setbacks from Property Lines. ***
- 7. Applicant certifies that all statements and information made and provided as part of this application are true to the best of their knowledge, information and belief. Applicant further states that all pertinent municipal ordinances, and all conditions, regulations and requirements of site plan approvals, variances, and other permits granted with respect to said property shall be complied with.

SEE ATTACHED

Signature of Applicant

Date

Office Use Only

Zoning Reviewer: John Rowe Date: 06/20/2022

Application Complete: Yes No

Approved: Rejected:

Planning/Variance Board action needed: Yes No

Proposed Work Needs Construction Permits: Yes No

Mercantile License Needed: Yes No

Notes: OWNER PROPOSES ADDITION/ALTERATION TO HOUSE. A VARIANCE IS NEEDED DUE TO THE EXISTING 95.55' LOT DEPTH (THE LOT IS GREATER THAN 4000 SQUARE FEET). THE OWNER WAS ADVISED THAT A SECOND KITCHEN IS NOT PERMITTED AND HE PROPOSES A WET BAR IN ITS PLACE ON THE SECOND FLOOR.

~~Approved~~
Denied
~~Received~~

John P. Rowe
John P. Rowe, Zoning Officer
7/21/22
Date



Borough of Lake Como

1740 Main Street, P.O. Box 569 • Lake Como, New Jersey 07719-0569
(732) 681-3232 • FAX (732) 681-8981

PLANNING BOARD APPLICATION

FOR MUNICIPAL USE ONLY	
Application Number:	22-INF
Received By:	N/A 7-20-22
Fees Collected:	\$12500
Hearing Date:	8-8-22
Resolution Adopted By Board:	
<input type="checkbox"/> Granted	<input type="checkbox"/> Denied

If something is not applicable to the application being submitted, please specify with N/A

1. Applicant(s) Name, Address & Telephone Number

Katie D'Ambrosia
621 Redmond Ave.
Lake Como NJ 07719

2. If the applicant is being represented by an attorney, please state name, address & telephone number

n/a

3. Applicant is:

Corporation Partnership Individual Other

NOTE: If application is a corporation or a partnership, please attach a list of the names and addresses of persons having a 10% interest or more in the corporation or partnership.

4. The relationship of applicant to the property in question is:

Owner Lessee

5. If applicant is not Owner, please state name, address and telephone number of the owner:

n/a

6. Application is a request for the following:

Preliminary Site Plan

Final Site Plan

Joint Preliminary and Final Site Plan

Minor Subdivision (3 or less lots)

Preliminary Subdivision

Final Subdivision

Joint Preliminary and Final Subdivision

Variance requests, including bulk or use variances – please specify

o _____

Informal Hearing

7. Give a brief description of application:

Requesting approval for lot size
current lot size 50 x 95.55

8. Street Address of Property:

621 Redmond Ave

Block: 12

Lot: 13

9. Use of Property:

Single Family home

Existing:

yes

Zone:

R-40

Proposed:

R-40

Lot Area:

4827.17 sf

Building Area:

1457

10. Map Information:

Map Dated:

6/25/2022

Prepared By:

FP&L Assoc.

Map Entitled:

11. Additional comments by applicant which may be relevant to hearing:

I certify that the statements and information contained in the application are true. I authorize the applicant to submit this application and process for approval

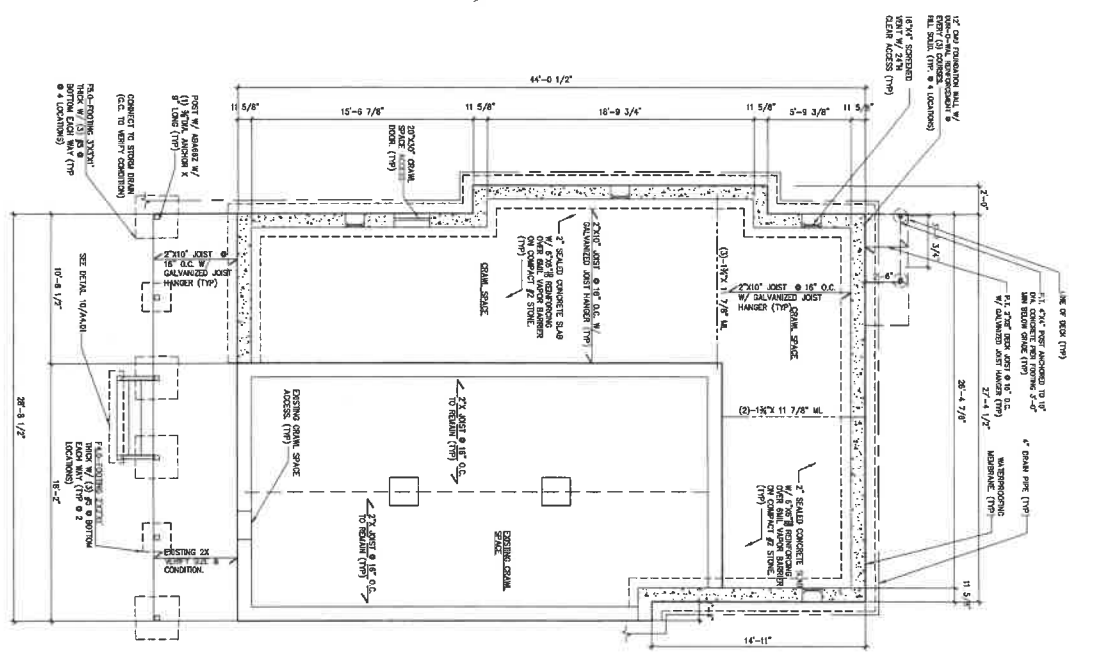
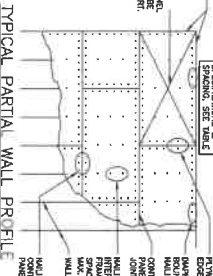
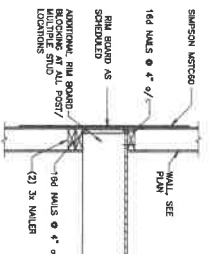
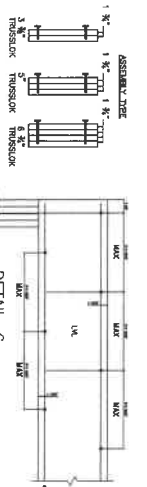
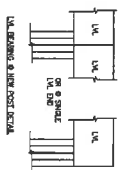


Borough of Lake Como

1740 Main Street, P.O. Box 569 • Lake Como, New Jersey 07719-0569
(732) 681-3232 • FAX (732) 681-8981

GENERAL NOTES

- General Contractor shall verify all conditions and check all measurements on job and shall be responsible for same.
- All concrete shall be constructed using concrete complying with all ACI Building Code requirements of a minimum 28-day compressive strength at 28 days of 3,000 psi.
- All reinforcing bars shall be new Miller steel, deformed type, ASTM A615 grade 60 and shall comply with all ACI code requirements.
- All fill shall be compacted layer by layer to not less than 95% of the maximum density when tested in accordance with ASTM D1557.
- All concrete subject to vehicle loads is to be 4,000 psi.
- Wire mesh shall conform to ASTM A954, or latest edition and shall lap one full mesh at side and end laps, and be wired together.
- Length of reinforcing splices shall conform to ACI Building Code requirements, but in no case shall be less than 30 bar diameters.
- Footings shall bear on undisturbed soil, free of frost and having a minimum allowable bearing capacity of 1500 lbs per square foot.
- Bottoms of all exterior footings shall be at least 3 feet below finished grade.
- All concrete shall contain the water reducing additive "Succin MR-73" or approved equal.
- All concrete shall be formed.
- Provide bearing plates and anchor bolts, studs, or wall anchors for all wall bearing beams.
- All specialty anchors and fasteners are to be manufactured by the Hilti Corporation or approved equal, and are to be installed per the Hilti Corporation's specifications, including torque, embedment, length, etc.



FRAMING LEGEND

NEW FLOOR INfill, W/1" 2X8" SRAOS 18" OC.
SPRINKLER EXISTING ROOM
REMOVE EXISTING ROOM

ROOF LOADS

CEILING LOAD: 15 PSF
ROOF LOAD: 40 PSF
TOTAL LOAD: 55 PSF

NOTE: 400 LB/SPR & BATHROOM AND/OR INCLINER.

FLOOR LOADS

CEILING LOAD: 15 PSF
FLOOR LOAD: 40 PSF
TOTAL LOAD: 55 PSF

NOTE: 400 LB/SPR & BATHROOM AND/OR INCLINER.

ATTIC FLOOR LOADS

CEILING LOAD: 10 PSF
FLOOR LOAD: 20 PSF
TOTAL LOAD: 30 PSF

- FOOTING SIZES ARE BASED ON ASSUMED SOIL BEARING CAPACITY 1500 PSF
- DO NOT REMOVE EXISTING FOOTING OR CONSTRUCTION
- EXISTING FOUNDATION SYSTEM IS TO BE MAINTAINED UNLESS OTHERWISE NOTED
- REMOVE EXISTING FLOORING W/ (S) 8" SRAOS EACH WAY AT FOOTING
- REMOVE EXISTING FLOORING W/ (S) 8" SRAOS EACH WAY AT FOOTING
- REMOVE EXISTING FLOORING W/ (S) 8" SRAOS EACH WAY AT FOOTING
- REMOVE EXISTING FLOORING W/ (S) 8" SRAOS EACH WAY AT FOOTING
- ALL SMOOTH SURFACES TO BE FINISHED WITH 1/2" GYP.

A.C. CAPUTO ARCHITECTURE & DESIGN, LLC
56 Third Street, Suite 200, San Francisco, CA 94103
ANGILO CAPUTO, AIA

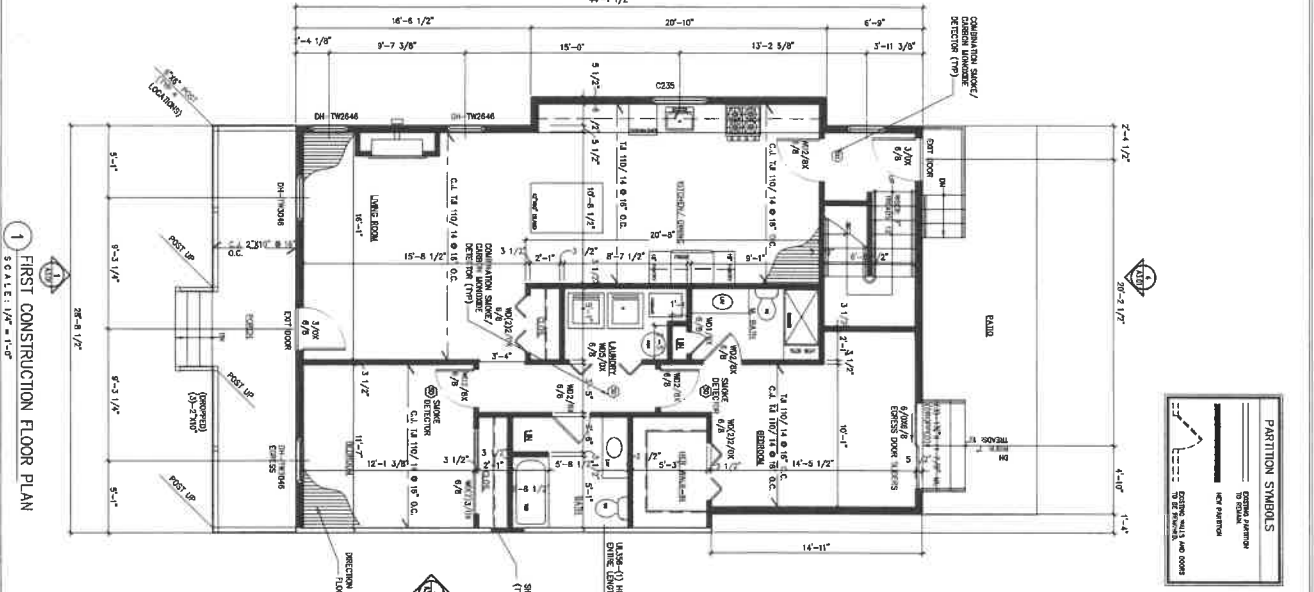
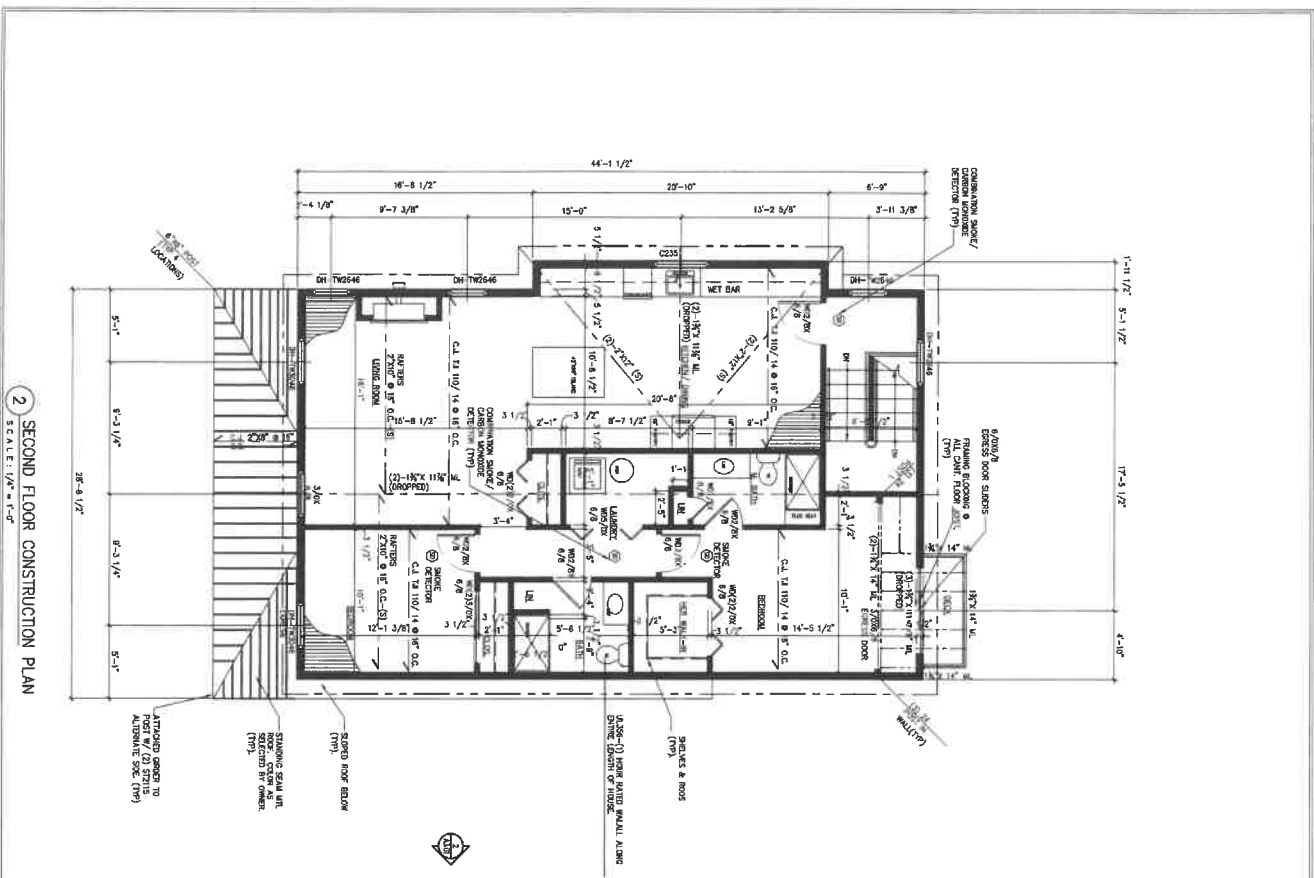
KATIE DAMBROSIA RESIDENCE
621 RESIDENCE AVENUE
LAUREL CANYON, NEW TRENCH #719

FOUNDATION PLAN

PROJECT: KATIE DAMBROSIA RESIDENCE
DATE: 1-20-21
ISSUED FOR PERMITS: 1-20-21
ISSUED FOR REVIEW: 1-20-21

DESIGNED BY: ABC
CHECKED BY: ABC
SCALE: AS NOTED
DATE: 1-20-21

2022-06
A1.01



PARTITION SYMBOLS

	EXTERIOR PARTITION
	INTERIOR PARTITION
	EXTERIOR WALL AND DOOR

- GENERAL NOTES**
1. PROVIDE FINISH AND SCHEDULE FOR ALL MATERIALS.
 2. ALL CEMENTS SHALL HAVE (1) 8000 PSI AND (2) 5000 PSI.
 3. ALL CONCRETE SHALL BE 4" MIN. THICK UNLESS OTHERWISE NOTED.
 4. FINISHES SHALL BE AS NOTED UNLESS OTHERWISE NOTED.
 5. ALL EXTERIOR WALLS AND EXTERIOR WALLS TO BE 8" X 8" STUCCO.
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 23. ALL EXTERIOR WALLS AND EXTERIOR WALLS TO BE 8" X 8" STUCCO.
 24. ALL EXTERIOR WALLS AND EXTERIOR WALLS TO BE 8" X 8" STUCCO.
 25. ALL EXTERIOR WALLS AND EXTERIOR WALLS TO BE 8" X 8" STUCCO.

PROPOSED FIRST & SECOND FLOOR PLAN

PROJECT: KATIE D'AMBROSIA RESIDENCE
 431 REDWOOD AVENUE
 LARKSPRING, NEW YORK 10597

DESIGNED BY: ANGIO ARCHITECTS
 DRAWN BY: ANGIO ARCHITECTS
 CHECKED BY: ANGIO ARCHITECTS
 DATE: AS NOTED
 DWG. NO: A1.02

ISSUE SCHEDULE

NO.	DATE	DESCRIPTION
1	1-20-21	ISSUED TO CLIENT
2	1-20-21	ISSUED FOR PERMIT

PROVIDED NEW EQUIPMENT

NO.	DESCRIPTION
1	...
2	...
3	...
4	...
5	...
6	...
7	...
8	...
9	...
10	...
11	...
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20	...
21	...
22	...
23	...
24	...
25	...

ARCHITECT

ANGIO ARCHITECTS
 431 REDWOOD AVENUE
 LARKSPRING, NEW YORK 10597
 TEL: 914.261.1111
 WWW.ANGIOARCHITECTS.COM

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 WWW.ANGIOARCHITECTS.COM



ANGELO CANTUO, AIA
 ARCHITECT & DESIGN, LLC
 56 Third Street
 Redwood City, CA 94063
 ACANTUO@YAHOO.COM

ARCHITECT

Structural Engineer

ISSUE SCHEDULE

REV	DATE	DESCRIPTION
1-28-21	ISSUED TO CLIENT	
1-28-21	ISSUED FOR PERMITS	

PROJECT
 KATHY D'AMBROSIA
 RESIDENCE
 1400 COLUMBIA STREET, REDWOOD CITY

EXTERIOR
 ELEVATIONS

Scale: 1/8" = 1'-0"
 A3.01

S85'27.00" W LOT 29
 42.86'
 N05'48.04" W 1.70'
 S84'12.00" W 7.09'
 96.44'

LOT 30

A. GAPPITO ARCHITECTURE & DESIGN, LLC
 55 Third Street
 Pompano Beach, FL 33062
 TEL: 954.281.2001
 A.GAPPITO@AVMIND.COM
 ANGELO CAPPITO, AIA

ARCHITECT

Structural Engineer

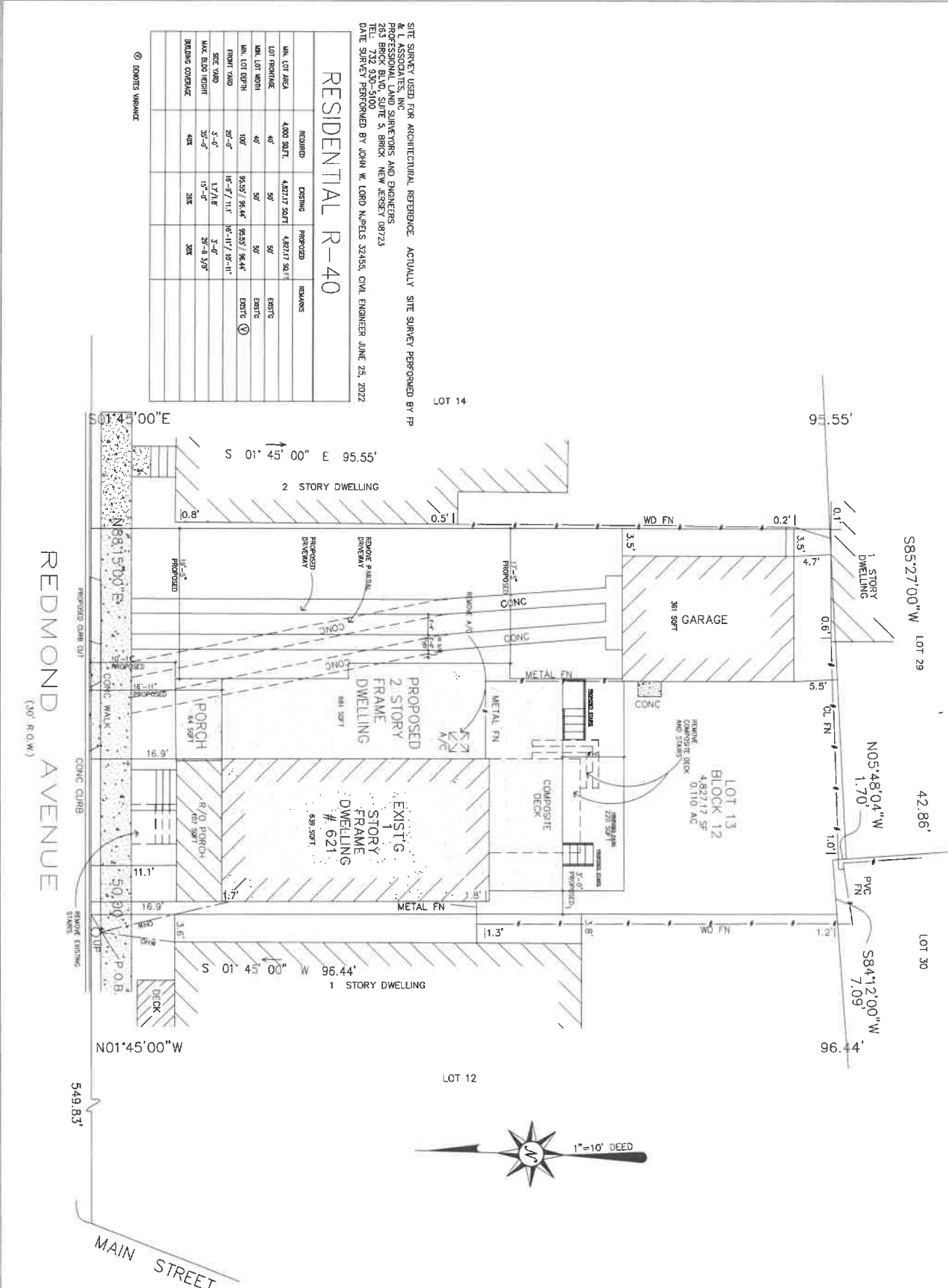
Structural Engineer

ISSUE SCHEDULE
 NO DATE DESCRIPTION
 1-20-22 ISSUED TO OWNER
 7-25-22 ISSUED FOR PERMIT

PROPOSED SITE PLAN
 CONSTRUCTION NUMBER: 2023-04
 DRAWN BY: A.G.
 CHECKED BY: A.G.
 SCALE: AS SHOWN
 DWG. NO: A0.01

KATIE D'AMBROSIA RESIDENCE
 4010 REDMOND AVENUE
 LAKE CROWN, MIAMI BEACH, FL 33149

PROPOSED SITE PLAN
 CONSTRUCTION NUMBER: 2023-04
 DRAWN BY: A.G.
 CHECKED BY: A.G.
 SCALE: AS SHOWN
 DWG. NO: A0.01



SITE SURVEY USED FOR ARCHITECTURAL REFERENCE. ACTUALLY SITE SURVEY PERFORMED BY FP & L ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS AND ENGINEERS
 253 BRICK BLVD, SUITE 5, BRICK, NEW JERSEY 08723
 TEL: 732.934-9100
 DATE SURVEY PERFORMED BY JOHN W. LOBO N.J.P.E.L.S. 32455, CIVIL ENGINEER, JUNE 28, 2022

RESIDENTIAL R-40

	REQUIRED	EXISTING	PROPOSED	REMARKS
MIN. LOT AREA	4,000 SQ. FT.	4,827.7 SQ. FT.	4,827.7 SQ. FT.	
LOT FRONTAGE	40'	50'	50'	EXISTG
MIN. LOT WIDTH	40'	50'	50'	EXISTG
MIN. LOT DEPTH	100'	95.55' / 96.44'	95.55' / 96.44'	EXISTG (1)
FRONT YARD	20'-0"	16'-8" / 11'1"	16'-11" / 10'-11"	
SIDE YARD	5'-0"	17'4.8"	5'-0"	
MAX. BLDG HEIGHT	35'-0"	15'-0"	29'-8 3/8"	
BUILDING COVERAGE	40%	28%	30%	

(1) DENOTES VARIANCE

Wall Twp Grading Code

A.140-116 Protection of natural features

Existing natural features such as streams, lakes, ponds and the natural configuration of the ground shall be retained where possible. If it can be demonstrated to the satisfaction of the Planning Board when reviewing applications for subdivisions, site plan or conditional uses, or to the satisfaction of the Board of Adjustment in all other cases, that such feature will substantially interfere with a permitted use of a property, such features may be altered only to the extent absolutely necessary to render premises suitable for such permitted use.

B.

Elevation alterations.

(1)

No alteration of any existing elevation of land or an approved grading plan shall be permitted without the written approval of the Township Engineer.

(2)

The existing elevation of any land in the Township shall not be altered more than two feet by means of soil removal, fill, or grading, except as part of an approved development application. Should the Township Engineer determine a proposed modification to an approved grading plan to be substantial, such approval shall be withheld and the applicant or developer shall be required to apply to the approving agency for approval or an amended grading plan.

Topsoil, sand and gravel.

No topsoil shall be removed from any premises in any zone. No subsoil, sand or gravel shall be removed from any premises in any zone except that:

A.

The Land Use Officer may issue a permit for the removal of subsoil from excavations for building foundations or other structures, provided that the total amount to be removed from the lot does not exceed 500 cubic yards.

B.

The appropriate hearing agency for any development application may grant a temporary bulk variance for the removal of soil, sand or gravel other than as set forth in Subsection A above. Such removal shall also be regulated by Chapter 188, Soil Removal.

Brielle Grading Ordinance

Soil Removal.

[Ord. #255; Ord. #592; 1972 Code § 89-9; Ord. #957]

No soil, mineral or similar material may be removed from or placed on any lot, except that which is purely incidental to the construction of a building or structure. When the quantity of cubic feet to be excavated (except for a building foundation) or filled equals or exceeds 2% of the square feet of the lot to be filled or excavated, or in any event if the change in elevation is two feet or more, site plan approval of the Plan shall first be obtained from the Planning Board.

(Maximum quantity of fill allowable (cubic feet) = Lot area in square feet x 0.02. Example: 15,000 square foot lot x 0.02 = 300 cubic feet maximum allowable fill).

Application for the permit must contain elevations or contours at not more than two foot intervals and proposed finished grades on a map drawn to a scale of not less than one inch equals 50 feet which map shall be furnished by a licensed engineer or land surveyor. No fill material shall consist of any type of industrial wastes, building debris, obnoxious materials, or similar substances. The Planning Board shall determine its appropriateness for the area.